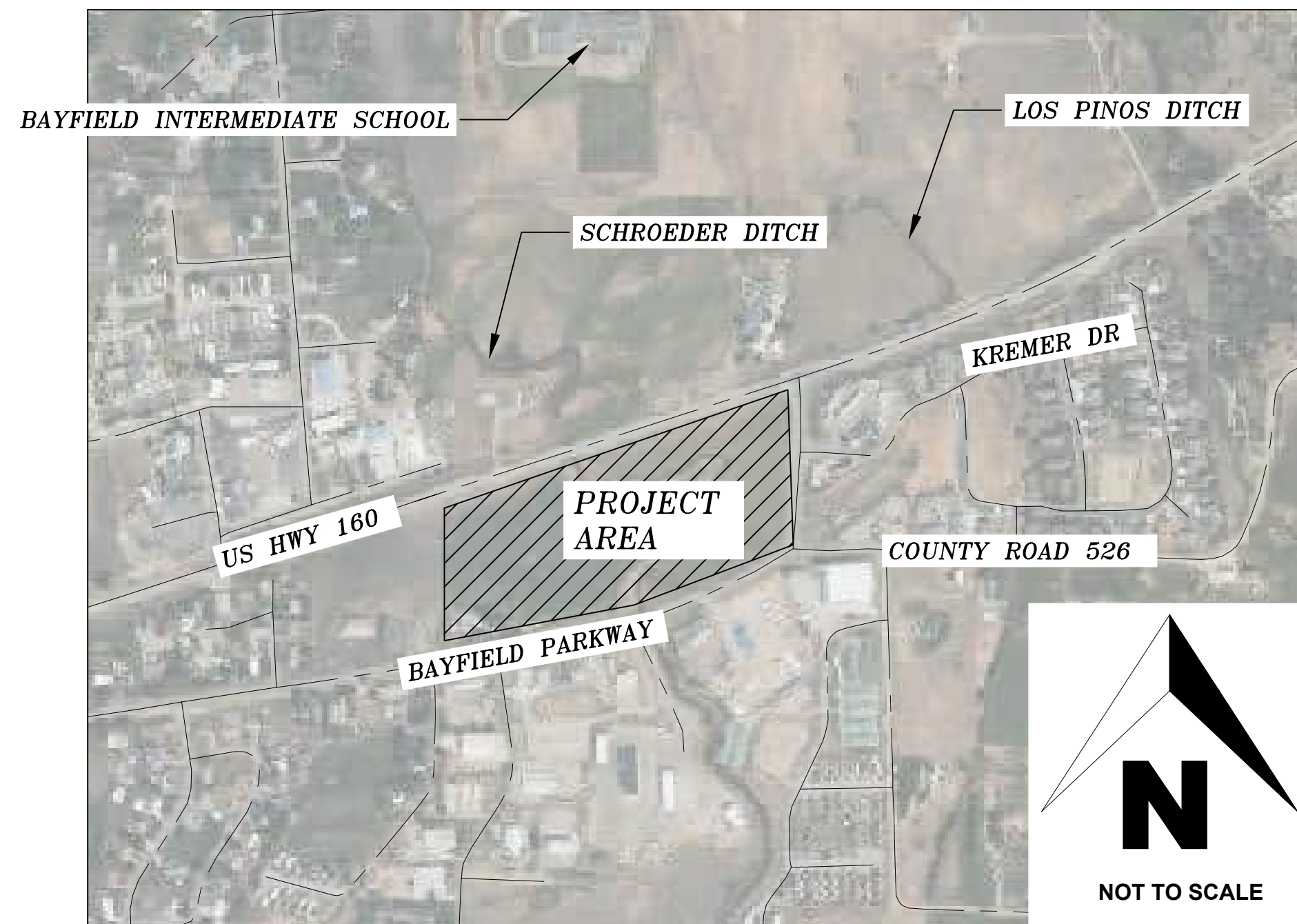


HAGA PROPERTY DEVELOPMENT MASTER PLAN 2107 BAYFIELD PARKWAY BAYFIELD, CO 81122

LEGEND

| EXISTING FEATURES | | PROPOSED FEATURES | |
|-------------------|------------------------|-------------------|------------------------|
| | PROPERTY LINE | | PROPERTY LINE |
| | EASEMENT | | EASEMENT |
| | RIGHT OF WAY | | RIGHT OF WAY |
| | WATERLINE | | WATERLINE |
| | SANITARY SEWER | | SANITARY SEWER |
| | STORM DRAIN | | STORM DRAIN |
| | IRRIGATION LINE | | IRRIGATION LINE |
| | UNDERGROUND GAS | | UNDERGROUND GAS |
| | UNDERGROUND TELEPHONE | | UNDERGROUND TELEPHONE |
| | UNDERGROUND FIBER | | UNDERGROUND FIBER |
| | UNDERGROUND ELECTRIC | | UNDERGROUND ELECTRIC |
| | SWALE | | SWALE |
| | POND | | POND |
| | FENCE | | CONCRETE |
| | WATER STRUCTURES | | RIP RAP PROTECTION |
| | SANITARY STRUCTURES | | WATER STRUCTURES |
| | STORM STRUCTURES | | SANITARY STRUCTURES |
| | TREE | | STORM STRUCTURES |
| | EXISTING MINOR CONTOUR | | TREE |
| | EXISTING MAJOR CONTOUR | | PROPOSED MINOR CONTOUR |
| | | | PROPOSED MAJOR CONTOUR |



PROJECT LOCATION MAP

APPROVING AGENCIES: TOWN OF BAYFIELD
PINE RIVER IRRIGATION DISTRICT
UPPER PINE RIVER FIRE PROTECTION DISTRICT

APPLICABLE STANDARDS: TOWN OF BAYFIELD INFRASTRUCTURE DESIGN STANDARDS
TOWN OF BAYFIELD CONSTRUCTION SPECIFICATIONS

INSPECTING AGENCIES: TOWN OF BAYFIELD (FOR PUBLIC IMPROVEMENTS)

REQUIRED PERMITS*: STATE OF COLORADO STORMWATER DISCHARGE PERMIT
TOWN OF BAYFIELD RIGHT-OF-WAY PERMIT
TOWN OF BAYFIELD EXCAVATION PERMIT

* THIS LIST IS NOT MEANT TO BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND OBTAIN ALL NECESSARY PERMITS

ADJACENT UTILITY PROVIDERS:

WATER & SEWER = TOWN OF BAYFIELD
GAS = BLACK HILLS ENERGY
ELECTRIC = LPEA
INTERNET = CLEAR NETWORKX

ENGINEER OF RECORD

TOWN ENGINEER

PUBLIC WORKS DIRECTOR

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| 2 | GENERAL NOTES |
| 3 | SITE PLAN |
| 4 | UTILITY PLAN |
| 5 | OVERALL GRADING & DRAINAGE PLAN |
| 6 | ROAD E-W P-PRO |
| 7 | ROAD E-W P-PRO |
| 8 | ROAD E-W P-PRO |
| 9 | ROAD N-S P-PRO |
| 10 | SANITARY P-PRO |
| 11 | SANITARY P-PRO |
| 12 | RELOCATED SANITARY SERVICE P-PRO |
| 13 | WATER A P-PRO |
| 14 | WATER B P-PRO |
| 15 | WATER B P-PRO |
| 16 | WATER B P-PRO |
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| 18 | CULVERT B P-PRO |
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| 38 | ROAD E-W CROSS SECTIONS |
| 39 | ROAD E-W CROSS SECTIONS |
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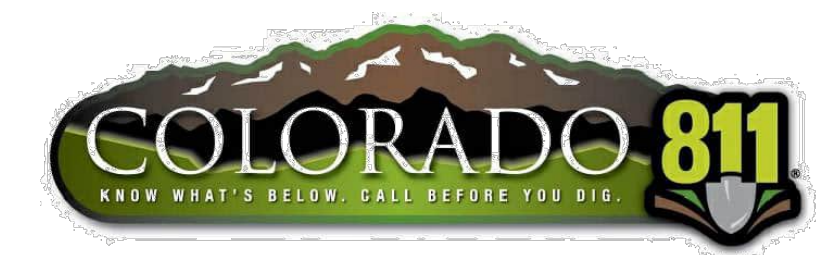
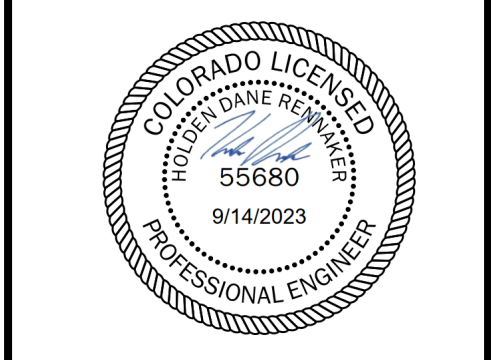
SHEET 1 OF 49

PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

**HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
COVER SHEET**

| REVISIONS: | | SHEET |
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| DATE | DESCRIPTION | |
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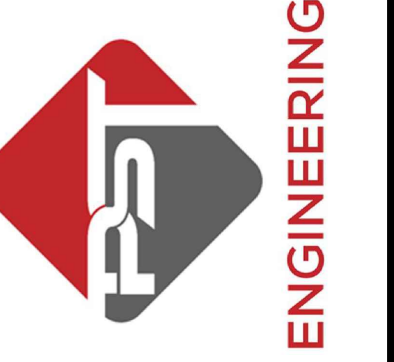
GENERAL NOTES

1. ALL ITEMS LISTED IN THESE NOTES ARE INCIDENTAL TO THE PROJECT AND WILL NOT BE PAID FOR SEPARATELY UNLESS NOTED AND/OR A SPECIFIC ITEM IS LISTED IN THE BID TABULATION.
 2. THE CONTRACTOR SHALL HAVE IN THEIR POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF PLANS AND SPECIFICATIONS WHICH HAVE BEEN APPROVED BY THE APPROPRIATE AGENCIES.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS (SEE LIST BELOW). THE CONTRACTOR MUST HAVE A COPY OF THESE DOCUMENTS ON SITE AT ALL TIMES. WHEN REQUIREMENTS IN THE DRAWINGS AND THE APPLICABLE STANDARDS CONFLICT THE MORE STRINGENT REQUIREMENT SHALL APPLY.
 4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PROJECT AND/OR WORK IN THE PUBLIC RIGHT—OF—WAY OR PUBLIC EASEMENTS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER/DEVELOPER OF ANY PROBLEMS IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
 6. THE DEVELOPER SHALL BE RESPONSIBLE FOR RESOLVING CONSTRUCTION PROBLEMS THAT ARISE DURING CONSTRUCTION ACTIVITIES DUE TO CHANGED CONDITIONS OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF IN THE OPINION OF AN AGENCY INSPECTOR OR THE OWNER'S REPRESENTATIVES, THE MODIFICATIONS TO THE APPROVED PLANS PROPOSED BY THE DEVELOPER INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK OR TO FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO THE APPROPRIATE AGENCIES FOR APPROVAL PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING PROJECT "RECORD DRAWINGS" PER THE APPLICABLE STANDARDS (SEE LIST ON COVER SHEET). THE CONTRACTOR SHALL ALSO PROVIDE ONE (1) COPY EACH TO THE OWNER, ENGINEER, AND ANY OTHER APPROPRIATE AGENCIES PRIOR TO FINAL ACCEPTANCE OF THE WORK.
 8. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
 9. SURVEY INFORMATION IS PROVIDED BY MORENO SURVEYING AND GEOGRAPHICS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION/LOCATIONS IDENTIFIED ON THESE PLANS PRIOR TO CONSTRUCTION.
- INCIDENTAL DAMAGE**
10. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY PUBLIC OR PRIVATE IMPROVEMENTS, IN KIND, THAT WERE REMOVED OR DAMAGED DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO: RESIDENTIAL SERVICES, SIGNS, WATER LINES, SEWER LINES, STORM DRAINS, ETC.
 11. THE CONTRACTOR SHALL REPAIR OR REPLACE EXISTING LANDSCAPING, IN KIND, THAT WAS REMOVED OR DAMAGED DURING CONSTRUCTION.
 12. THE CONTRACTOR SHALL RESET ALL SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION WITHIN 60 DAYS OF PROJECT COMPLETION.
 13. ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY FIX ANY DAMAGE OR EXCESSIVE PAVEMENT FAILURES OUTSIDE OF THE PROJECT LIMITS CAUSED BY PROJECT CONSTRUCTION AND SHALL PROPERLY BARRICADE THE AFFECTED AREA UNTIL NECESSARY REPAIRS ARE COMPLETE. FAILURE BY THE CONTRACTOR TO CORRECT ANY OF THE ABOVE CONDITIONS WITHIN PUBLIC RIGHT WITHIN 48 HOURS OF WRITTEN NOTICE BY THE INSPECTING AGENCY SHALL CAUSE THE INSPECTING AGENCY TO ISSUE A STOP WORK ORDER. AT THIS TIME, THE AGENCY MAY PERFORM THE CORRECTIVE WORK AND MAKE A CLAIM AGAINST THE ESCROW BOND OR LETTER OF CREDIT FOR ANY COST INCURRED BY THE AGENCY.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING ASPHALT FROM CONSTRUCTION EQUIPMENT. DAMAGED ASPHALT SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- INSPECTIONS AND MATERIAL TESTING**
15. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE APPROVING AGENCIES, AGENCY INSPECTORS, AND OWNER'S REPRESENTATIVE REGARDING MATERIAL TESTING AND INSPECTION PROCEDURES. ANY REQUIRED RE-TESTING, RE-WORK, OR DELAYS RESULTING FROM THE FAILURE OF THE CONTRACTOR TO FOLLOW THE APPROPRIATE PROCEDURES SHALL BE AT THE CONTRACTOR'S EXPENSE.
 16. THE DUTY OF THE AGENCY REPRESENTATIVES, OWNER, OR OWNER'S REPRESENTATIVES TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
 17. THE OWNER SHALL RETAIN A GEOTECHNICAL TESTING LABORATORY TO PERFORM ALL REQUIRED TESTS.

GENERAL NOTE (CONT'D)

- ON SITE CONSTRUCTION**
18. CONTRACTOR SHALL ADJUST RIMS OF ALL CLEANOUTS, MANHOLES, VALVE COVERS, AND SURVEY MONUMENTS TO FINISH GRADE PRIOR TO FINAL MATERIAL PLACEMENT.
 19. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN, FOR EACH TEMPORARY TRAFFIC CONTROL SCENARIO, TO THE TOWN OF BAYFIELD FOR REVIEW AND APPROVAL BEFORE COMMENCING ANY WORK IN THE TOWN RIGHT-OF-WAY OR EASEMENTS. THE CONTRACTOR SHALL EMPLOY A CERTIFIED TRAFFIC CONTROL SUPERVISOR (CTCS) TO BE RESPONSIBLE FOR ALL METHODS OF HANDLING TRAFFIC (MHT'S).
 20. HOT MIX ASPHALT (HMA) SHALL BE CDOT GRADING SX (75). RECYCLED ASPHALT MAY BE INCORPORATED INTO THE MIX UP TO 20 PERCENT BY WEIGHT. HMA SHALL MEET THE REQUIREMENTS OF CDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 403.
 21. CONCRETE INCLUDING ALL SIDEWALKS, CHASES, CURB AND GUTTER, CURB-CUTS, DRIVEWAY RETURN, HANDICAP RAMPS, CROSS GUTTERS, COLLARS, SHALL MEET THE REQUIREMENTS OF SECTION 8 OF THE TOWN OF BAYFIELD CONSTRUCTION SPECIFICATIONS.
 22. CONTRACTOR SHALL RELOCATE STREET SIGNS TEMPORARILY DURING CONSTRUCTION AS NECESSARY, THEN REPLACE AS REQUIRED PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), INCLUDING T-LOCK BASE, METAL POST, MOUNTING HARDWARE, ETC.
 23. ALL MANHOLE/VALVE CLEANOUT RING AND COVERS IN ASPHALT SHALL BE INSTALLED WITH CONCRETE COLLARS.
- GRADING AND DRAINAGE**
24. A WATER TRUCK, IF CALLED FOR BY AN AGENCY INSPECTOR OR OWNER'S REPRESENTATIVE, WILL BE PROVIDED TO KEEP WIND EROSION IN CHECK.
 25. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
 26. A STATE OF COLORADO STORMWATER QUALITY PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITY DISTURBING AT LEAST 1 ACRE OF LAND (OR IS PART OF A COMMON PLAN OF DEVELOPMENT DISTURBING AT LEAST 1 ACRE OF LAND). THE ESTIMATED AREA OF DISTURBANCE ON THE MASTER PLAN IS APPROXIMATELY 15 ACRES, THEREFORE A COLORADO STORMWATER DISCHARGE PERMIT WILL BE REQUIRED AND OBTAINED BY CONTRACTOR.
- UTILITIES**
27. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY PROVIDERS AND APPROVING AGENCIES FOR ANY PLANNED INTERRUPTION OF UTILITY SERVICES SUCH AS ELECTRICAL, TELEPHONE, WATER, SEWER, GAS, ETC.
 28. CONTRACTOR SHALL CONTACT THE APPROPRIATE AGENCIES FOR THE LOCATION OF UNDERGROUND GAS, ELECTRIC, TELEPHONE, FIBER OPTIC, CABLE TV, AND ANY OTHER PUBLIC OR PRIVATE UTILITIES AT LEAST 2 FULL BUSINESS DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 29. EXISTING UTILITY LOCATIONS AND DEPTHS SHOWN ON THESE PLANS ARE APPROXIMATE AND ALL EXISTING LINES MAY NOT BE SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING CROSSINGS AND DEPTHS PRIOR TO CONSTRUCTION.
- WORK IN EXISTING PAVEMENT**
30. WHERE CONSTRUCTION OCCURS IN OR ACROSS ASPHALT OR CONCRETE PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE PAVEMENT FOR A CLEAN STRAIGHT EDGE 6" OUTSIDE OF THE TRENCH LIMITS TO ALLOW CLEAN REMOVAL AND A GOOD SURFACE FOR PROPER PATCHING.
 31. ALL PAVEMENT SAW CUTS SHALL BE 90' TO ONE ANOTHER.
 32. IMMEDIATELY PRIOR TO ASPHALT PATCHBACK, THE CONTRACTOR SHALL REMOVE THE TOP SEVERAL INCHES OF CLASS 6 ABC ON THE TRENCH AND RECONDITION THE BACKFILL AS NECESSARY TO MEET THE TOWN PAVING STANDARDS. COMPACTION TESTS SHALL BE TAKEN BY THE CONTRACTOR'S GEOTECHNICAL TESTING LABORATORY AND SUBMITTED TO THE ENGINEER. ALL DAMAGED EDGES OF PAVEMENT OR SOFT SHOULDERS SHALL BE SAW CUT AND REMOVED AND THE BASE COMPACTED.
 33. ALL ASPHALT PATCHBACK SHALL MATCH EXISTING THICKNESS, PLACED IN TWO EQUAL LIFTS.

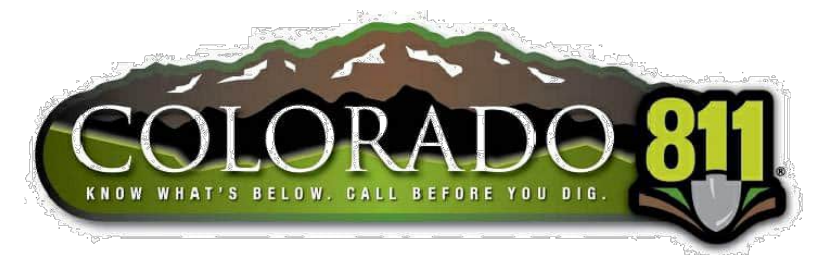
PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492



**HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
GENERAL NOTES**

| REVISIONS: | | DATE | DESCRIPTION | SHEET |
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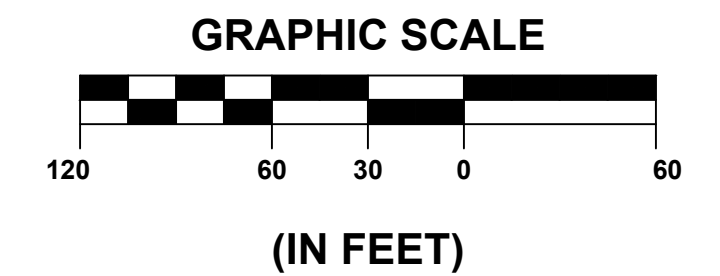
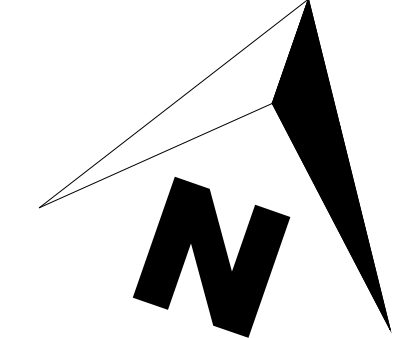
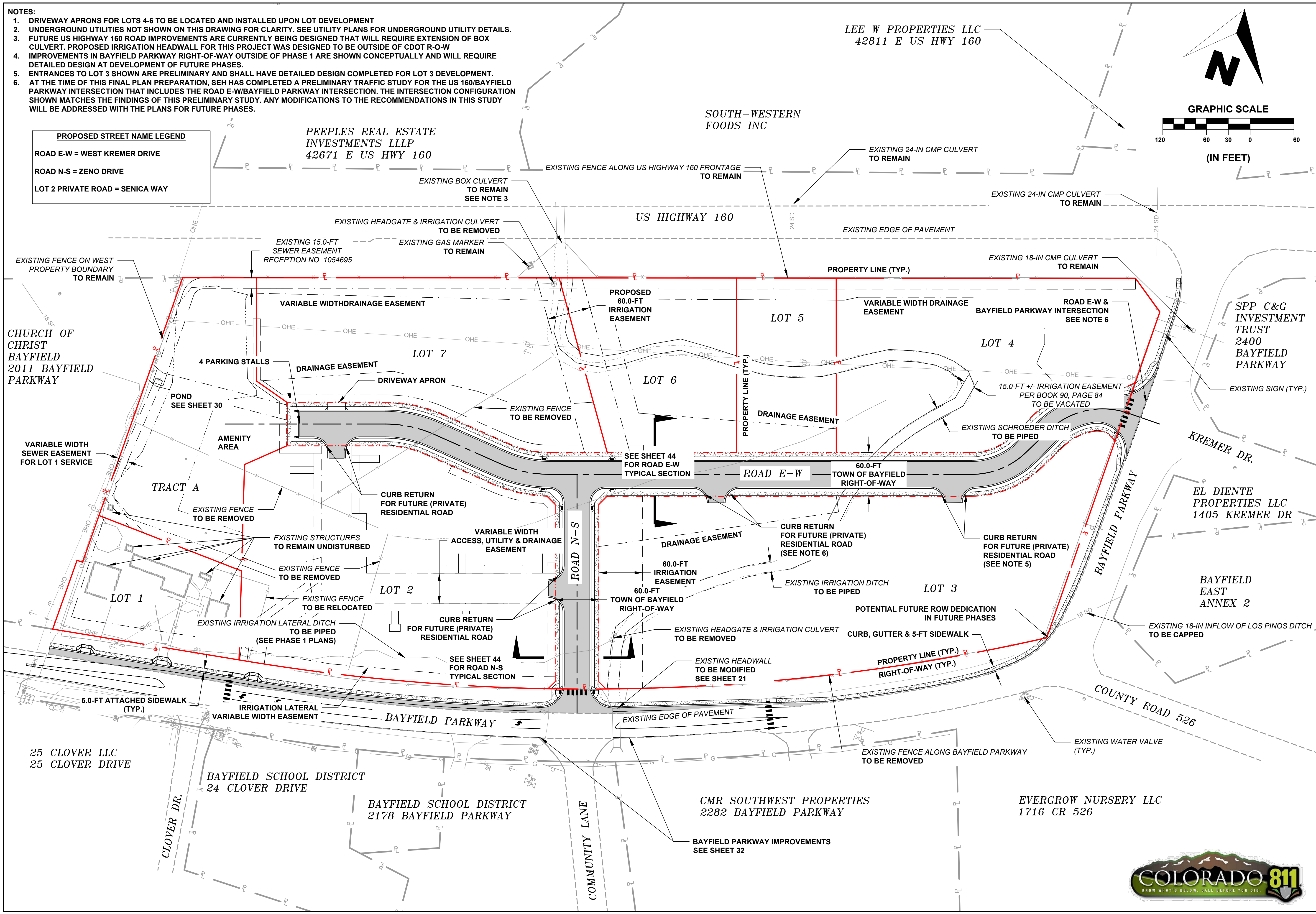
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- NOTES:
1. DRIVEWAY APRONS FOR LOTS 4-6 TO BE LOCATED AND INSTALLED UPON LOT DEVELOPMENT
 2. UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING FOR CLARITY. SEE UTILITY PLANS FOR UNDERGROUND UTILITY DETAILS.
 3. FUTURE US HIGHWAY 160 ROAD IMPROVEMENTS ARE CURRENTLY BEING DESIGNED THAT WILL REQUIRE EXTENSION OF BOX CULVERT. PROPOSED IRRIGATION HEADWALL FOR THIS PROJECT WAS DESIGNED TO BE OUTSIDE OF CDOT R-O-W
 4. IMPROVEMENTS IN BAYFIELD PARKWAY RIGHT-OF-WAY OUTSIDE OF PHASE 1 ARE SHOWN CONCEPTUALLY AND WILL REQUIRE DETAILED DESIGN AT DEVELOPMENT OF FUTURE PHASES.
 5. ENTRANCES TO LOT 3 SHOWN ARE PRELIMINARY AND SHALL HAVE DETAILED DESIGN COMPLETED FOR LOT 3 DEVELOPMENT.
 6. AT THE TIME OF THIS FINAL PLAN PREPARATION, SEH HAS COMPLETED A PRELIMINARY TRAFFIC STUDY FOR THE US 160/BAYFIELD PARKWAY INTERSECTION THAT INCLUDES THE ROAD E-W/BAYFIELD PARKWAY INTERSECTION. THE INTERSECTION CONFIGURATION SHOWN MATCHES THE FINDINGS OF THIS PRELIMINARY STUDY. ANY MODIFICATIONS TO THE RECOMMENDATIONS IN THIS STUDY WILL BE ADDRESSED WITH THE PLANS FOR FUTURE PHASES.

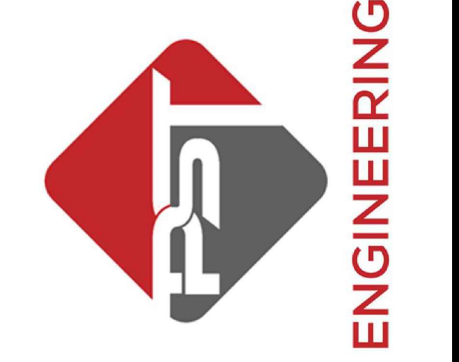
PROPOSED STREET NAME LEGEND

ROAD E-W = WEST KREMER DRIVE
 ROAD N-S = ZENO DRIVE
 LOT 2 PRIVATE ROAD = SENICA WAY



SHEET
3 OF **49**

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 DURANGO, CO 81301
 970-403-5492

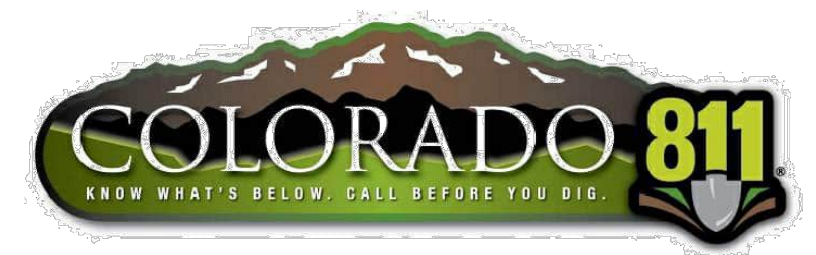


HAGA PROPERTY MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
SITE PLAN

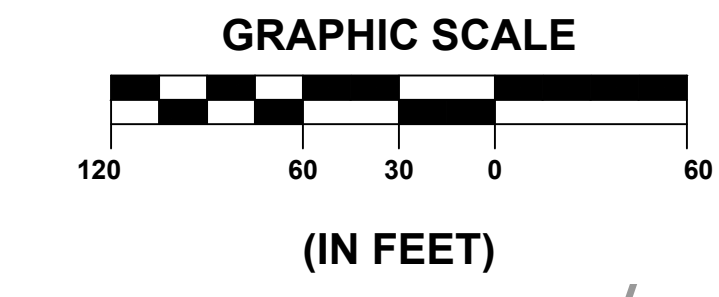
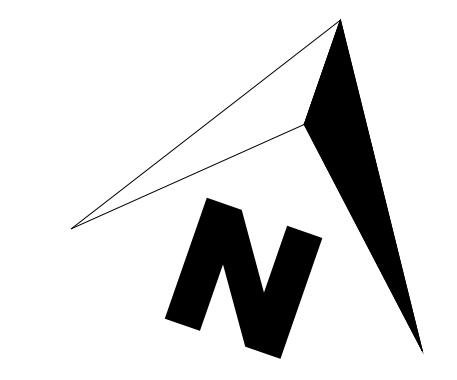
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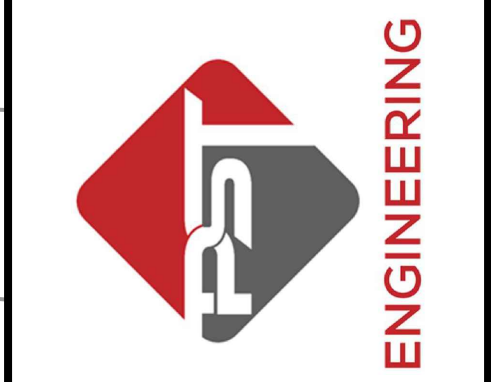
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- NOTES:
- UNLESS OTHERWISE NOTED, HORIZONTAL LOCATION OF EXISTING WATER, GAS, ELECTRIC, AND COMMUNICATIONS IS FROM SURVEYED UTILITY LOCATES. THE HORIZONTAL LOCATION OF SANITARY SEWER STUBS WAS DETERMINED FROM EXISTING PLANS, AND GIS INFORMATION. CONTRACTOR SHALL POTHOLE TO VERIFY UTILITY LOCATIONS PRIOR TO THE START OF WORK AND NOTIFY THE OWNER/ENGINEER OF ANY DISCREPANCIES OR APPARENT CONFLICTS.
 - LOCATION AND DESIGN OF PROPOSED DRY UTILITIES (GAS, ELECTRIC, COMMUNICATION, ETC.) WAS DESIGNED BY OTHERS AND SHOWN ON PLAN
 - ASPHALT SHALL BE SAWCUT AND PATCHED FOR UTILITY LINES WHERE SHOWN. BACKFILL ABOVE THE BEDDING SHALL BE FLOWFILL UNDER TOWN STREETS. CONTACT TOWN OF BAYFIELD PUBLIC WORKS DIRECTOR TO COORDINATE TIE-IN DETAILS PRIOR TO TYING INTO TOWN OF BAYFIELD MAIN
 - 10' OF HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN WATER AND SANITARY/STORM SEWER MAINS.
 - CONTRACTOR MUST COORDINATE WITH LPEA TO DETERMINE IF POLES NEED TEMPORARY SUPPORT DURING GRADING OPERATIONS.
 - LPEA AND BLACK HILLS ENERGY HAVE PROVIDED PLANS FOR PHASE 1 ONLY - AS SHOWN ON PLAN. OVERHEAD LINES ARE PLANNED TO REMAIN ACROSS LOTS 4-7 DURING PHASE 1, BUT WILL LIKELY BE RELOCATED UNDERGROUND DURING FUTURE PHASES.



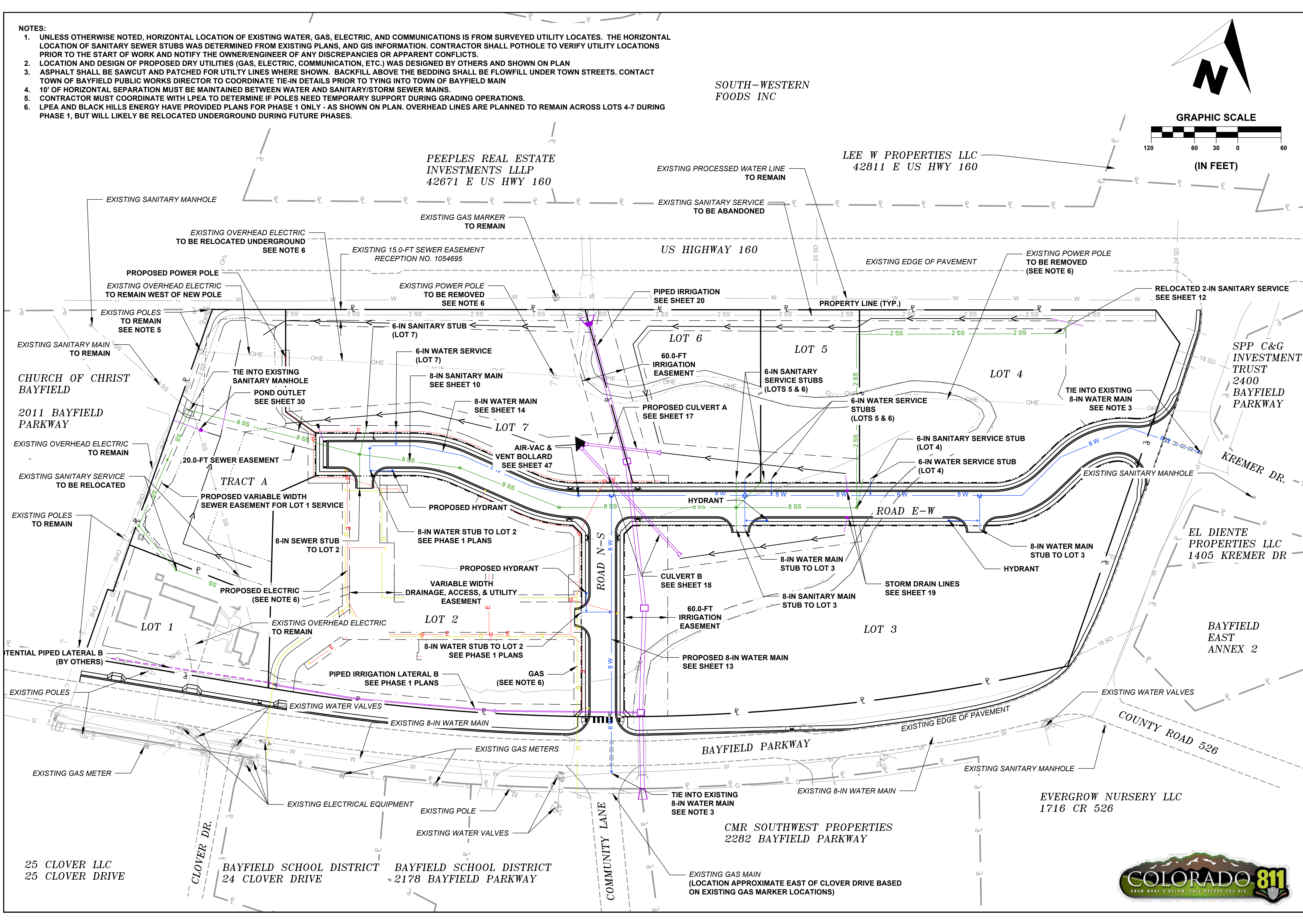
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970-403-5492



HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
UTILITY PLAN

| REVISIONS: | DATE | DESCRIPTION | SHEET |
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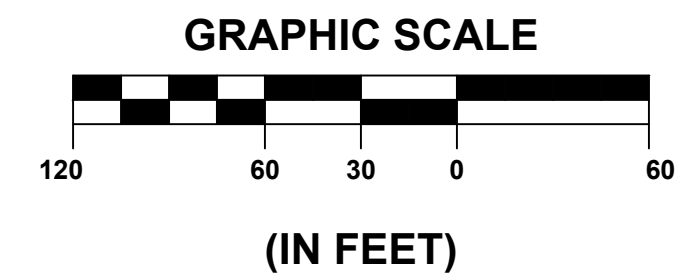
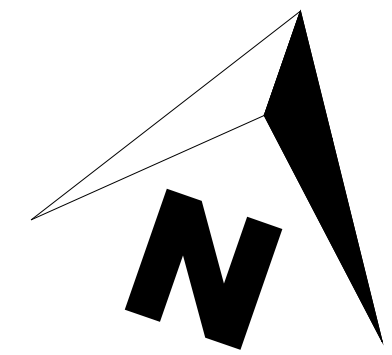
NOTES:

1. CONTOURS SHOWN AT 2-FT INTERVAL
2. GRADING SHOWN ACROSS LOTS 3 & 4-7 ARE CONCEPTUAL TO DEMONSTRATE FEASIBILITY. FUTURE DETAILED GRADING & DRAINAGE STUDY WILL BE REQUIRED FOR FUTURE LOT DEVELOPMENT.
3. SEE PHASE 1 PLANS FOR DETAILED GRADING OF LOT 2
4. SEE SHEETS 23-26 FOR GRADING PLANS FOR EACH LOT
5. SEE SHEETS 27-29 FOR GRADING OF INTERSECTIONS
6. STEEPEST ALLOWABLE SLOPES PER GEOTECHNICAL REPORT: 2.5:1
7. UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING FOR CLARITY, EXCEPT STORM CULVERTS. SEE UTILITY PLANS FOR UNDERGROUND UTILITY DETAILS.

PEEPLER REAL ESTATE INVESTMENTS LLP
42671 E US HWY 160

SOUTH-WESTERN FOODS INC

LEE W PROPERTIES LLC
42811 E US HWY 160



SHEET 5 OF 49

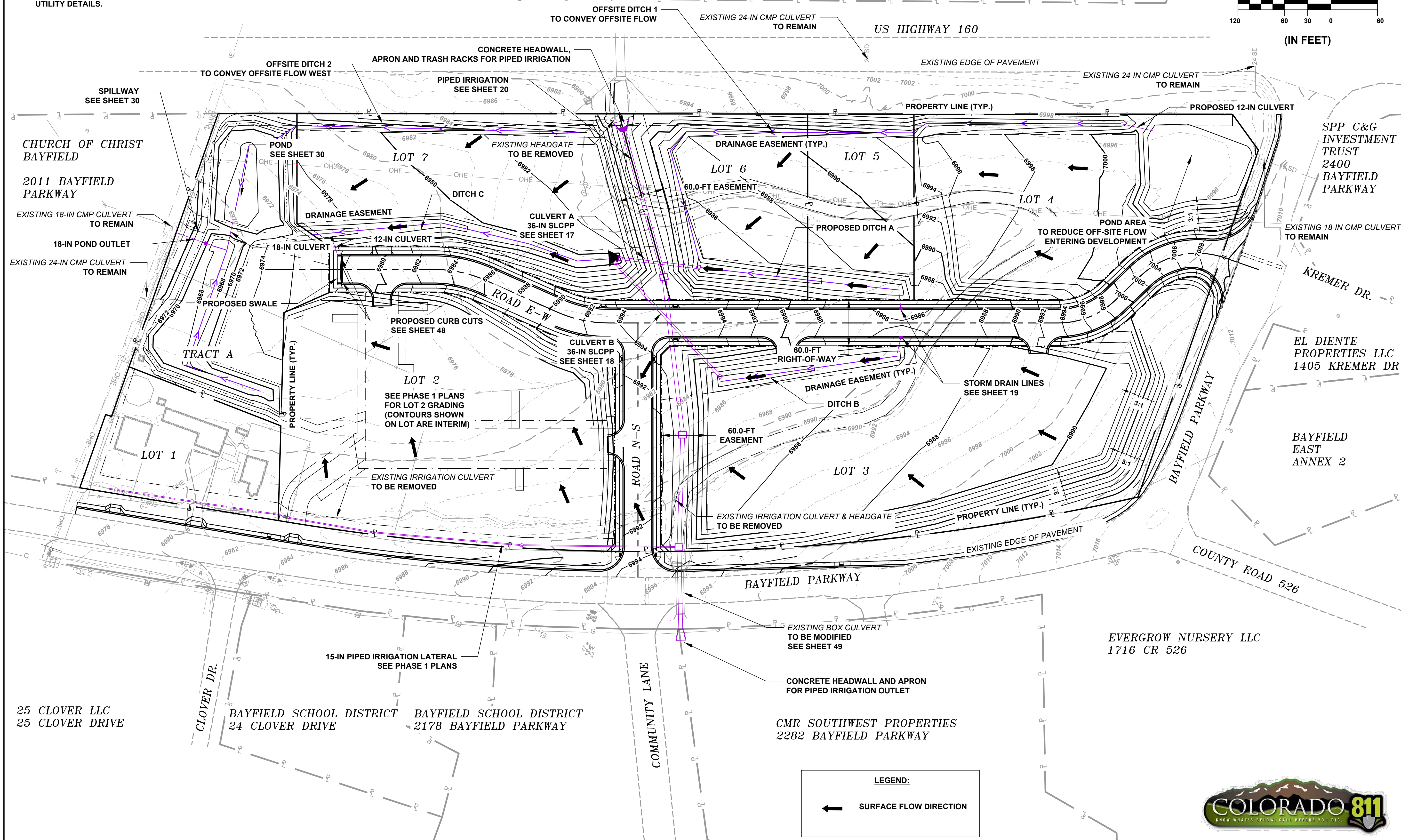
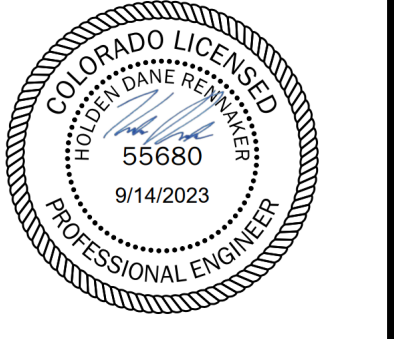
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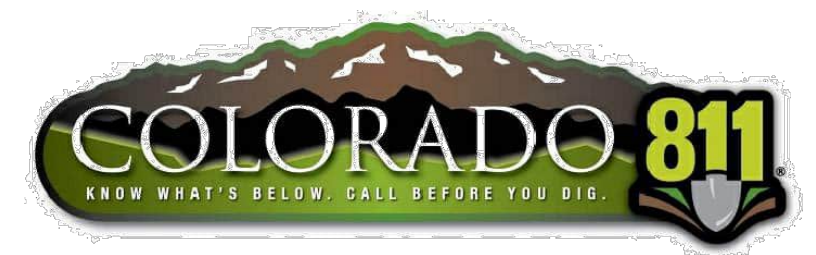
HAGA PROPERTY MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
OVERALL GRADING & DRAINAGE PLAN

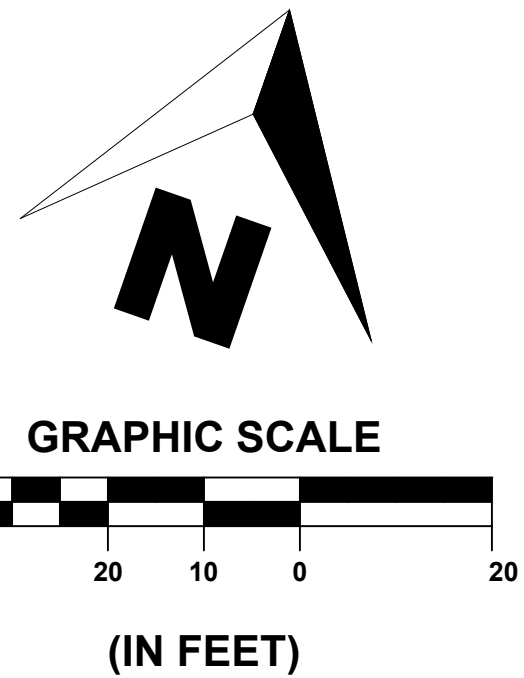
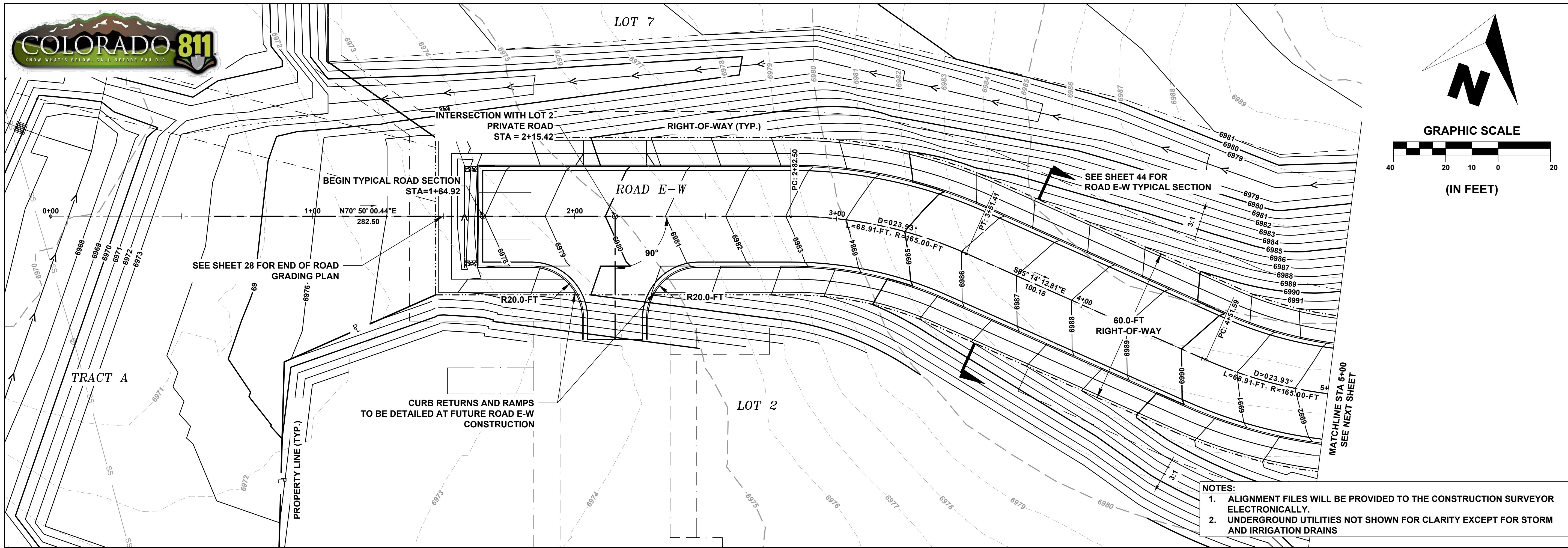
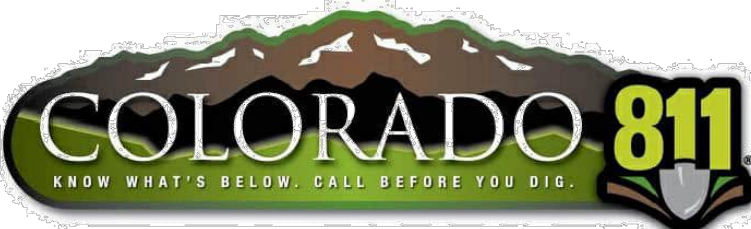
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LEGEND:
← SURFACE FLOW DIRECTION

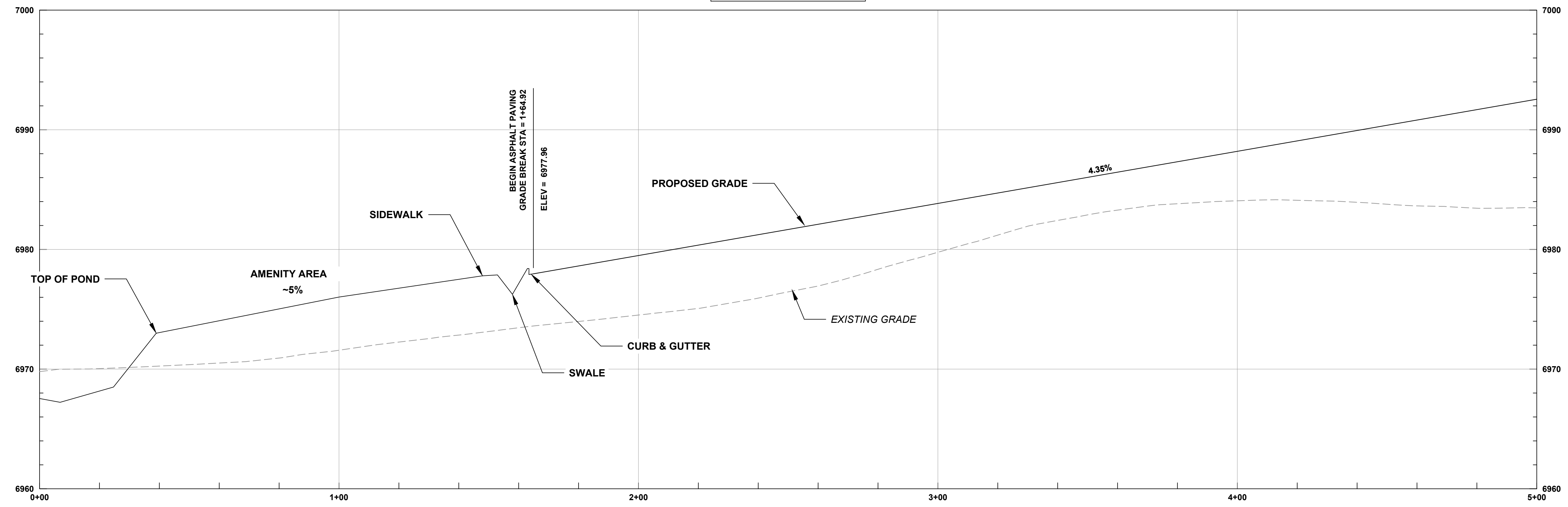




- NOTES:**
1. ALIGNMENT FILES WILL BE PROVIDED TO THE CONSTRUCTION SURVEYOR ELECTRONICALLY.
 2. UNDERGROUND UTILITIES NOT SHOWN FOR CLARITY EXCEPT FOR STORM AND IRRIGATION DRAINS

PROFILE VERTICAL EXAGGERATION: 4X

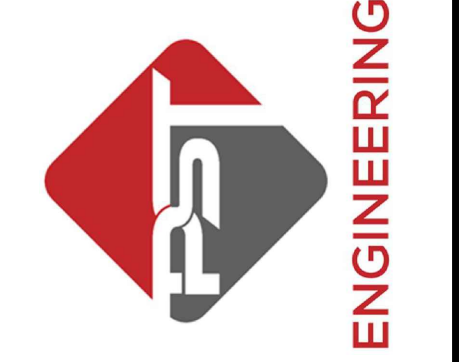
PROFILE VIEW OF ROAD E-W



| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 6969.8 | 6970.0 | 6970.3 | 6970.5 | 6970.9 | 6971.6 | 6972.3 | 6972.8 | 6973.5 | 6974.0 | 6978.62 | 6974.5 | 6979.49 | 6975.1 | 6980.36 | 6976.9 | 6981.23 | 6976.9 | 6982.10 | 6978.3 | 6982.97 | 6979.8 | 6983.85 | 6984.2 | 6984.72 | 6982.4 | 6985.09 | 6983.3 | 6986.46 | 6983.8 | 6987.33 | 6984.1 | 6986.20 | 6984.1 | 6989.07 | 6983.9 | 6989.94 | 6983.6 | 6990.81 | 6982.4 | 6991.66 | 6983.5 | 6992.55 |
|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|--------|---------|

SHEET
6 OF 49

PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492



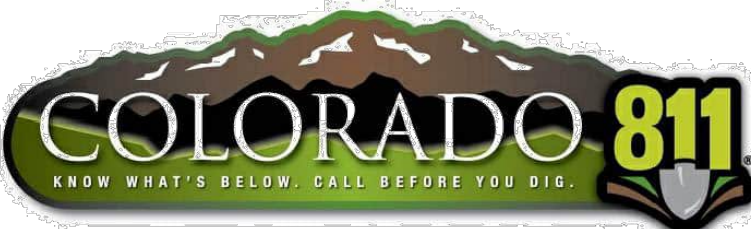
HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
ROAD E-W P-PRO
STA 0+00 - 5+00

REVISIONS:

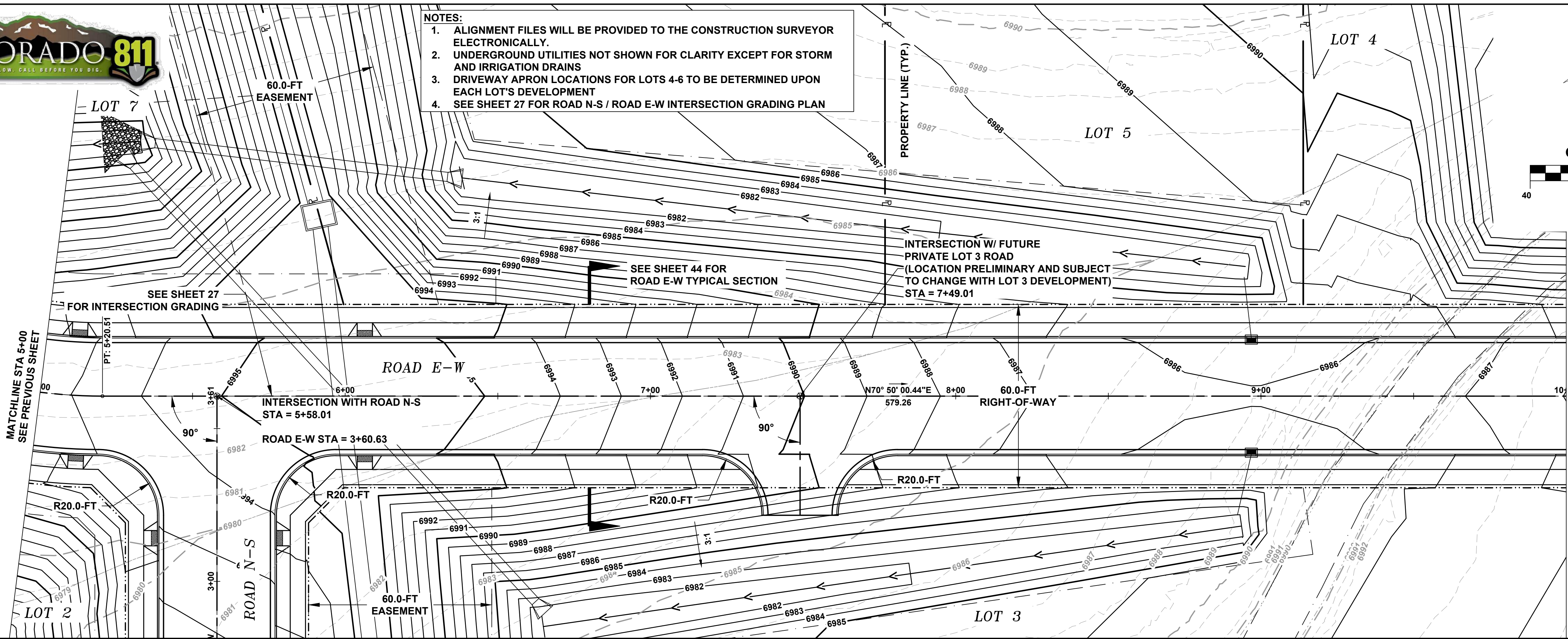
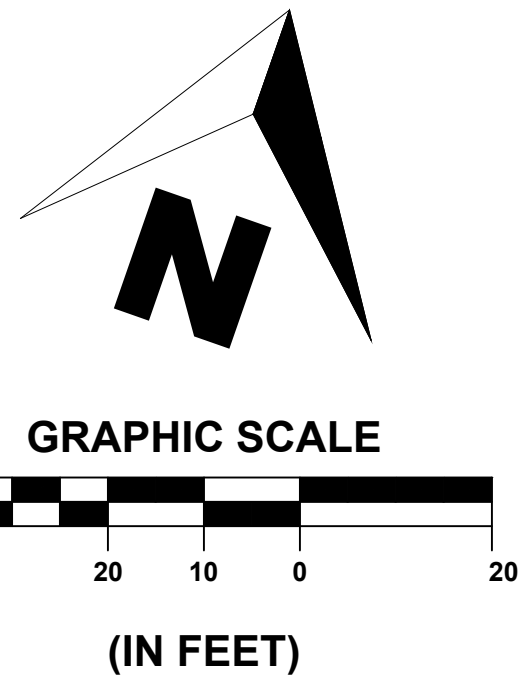
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DATE: 09/14/2023
DRAWN BY: HR
CHECKED BY: SP



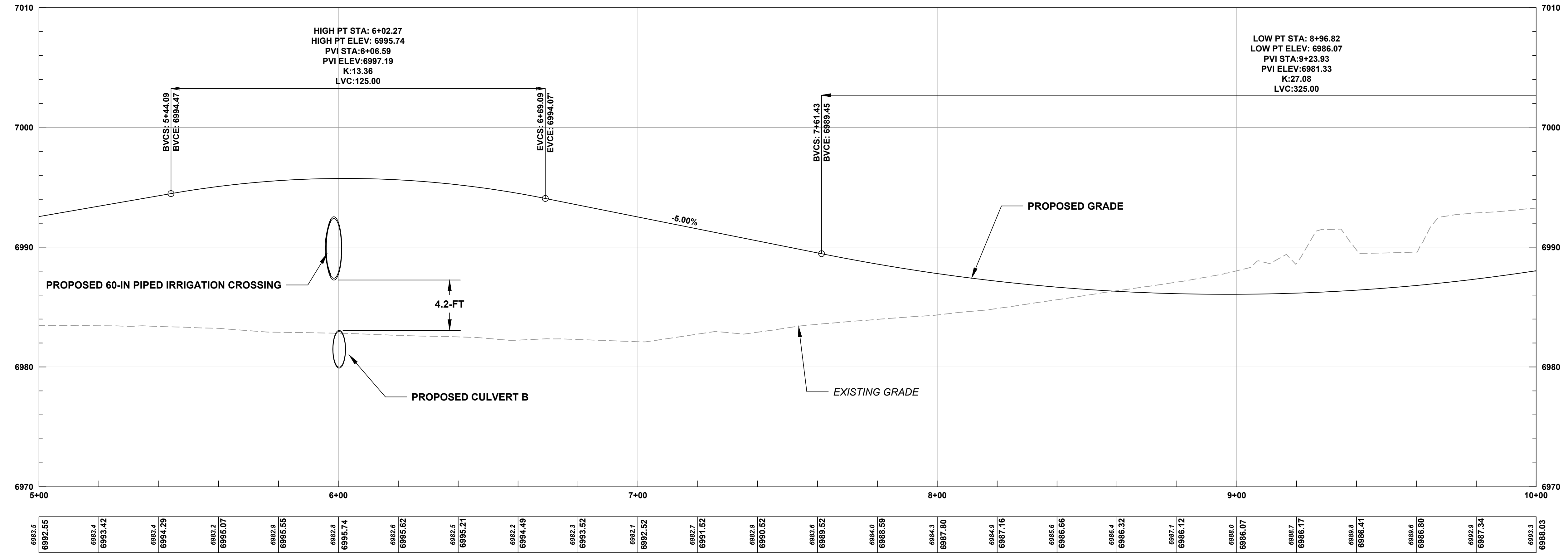


- NOTES:**
1. ALIGNMENT FILES WILL BE PROVIDED TO THE CONSTRUCTION SURVEYOR ELECTRONICALLY.
 2. UNDERGROUND UTILITIES NOT SHOWN FOR CLARITY EXCEPT FOR STORM AND IRRIGATION DRAINS
 3. DRIVEWAY APRON LOCATIONS FOR LOTS 4-6 TO BE DETERMINED UPON EACH LOT'S DEVELOPMENT
 4. SEE SHEET 27 FOR ROAD N-S / ROAD E-W INTERSECTION GRADING PLAN



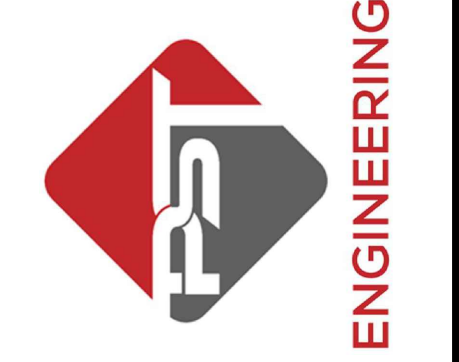
PROFILE VIEW OF ROAD E-W

PROFILE VERTICAL EXAGGERATION: 4X



| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 6992.55 | 6993.4 | 6993.42 | 6994.4 | 6994.29 | 6995.07 | 6995.55 | 6995.74 | 6995.62 | 6995.21 | 6994.49 | 6993.52 | 6992.52 | 6992.7 | 6991.52 | 6990.52 | 6989.52 | 6988.59 | 6987.80 | 6987.16 | 6986.66 | 6986.32 | 6986.12 | 6986.07 | 6985.17 | 6985.41 | 6985.30 | 6984.9 | 6983.34 | 6983.03 |
|---------|--------|---------|--------|---------|---------|---------|---------|---------|---------|---------|---------|---------|--------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|--------|---------|---------|

PST ENGINEERING, LLC
 2615 MAIN AVE. SUITE 209
 DURANGO, CO 81301
 970-403-5492



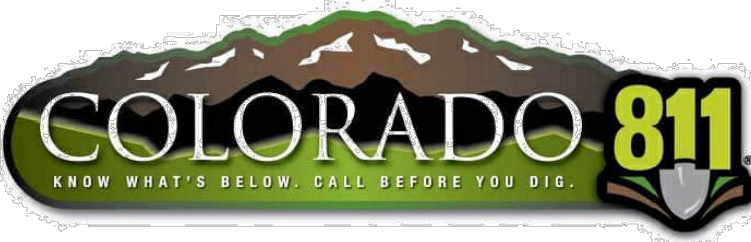
**HAGA PROPERTY
 MASTER PLAN
 2107 BAYFIELD PARKWAY
 BAYFIELD, CO 81122
 ROAD E-W P-PRO
 STA 5+00 -10+00**

REVISIONS:

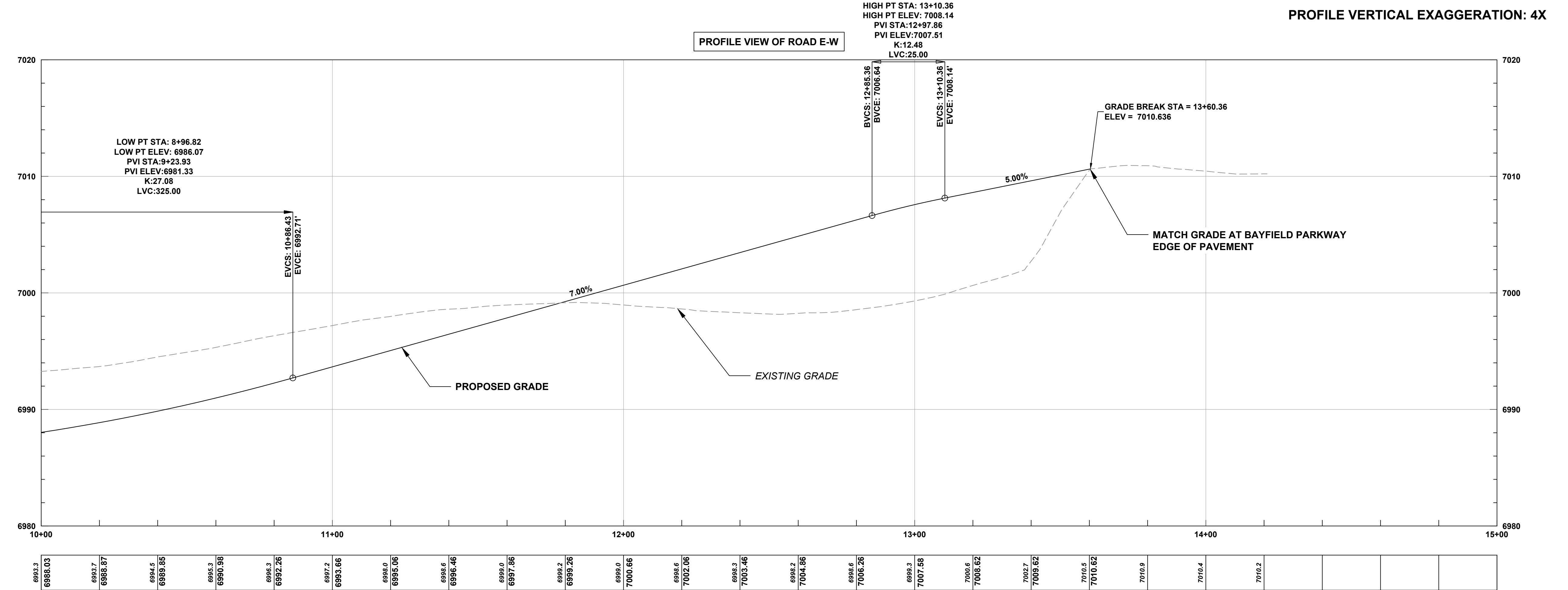
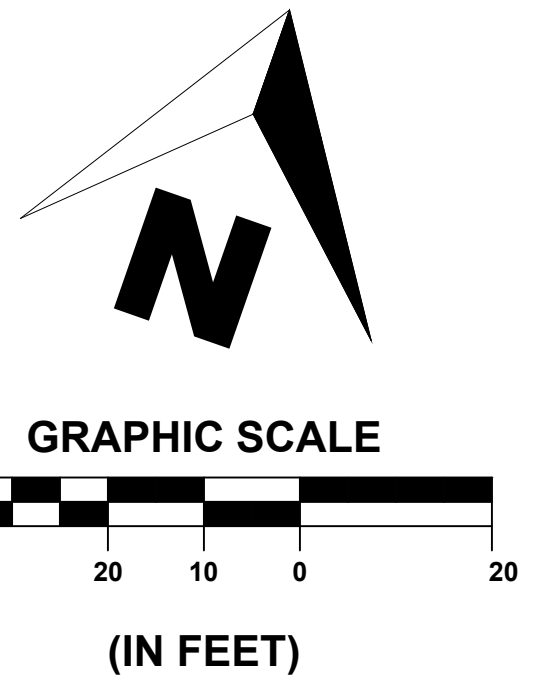
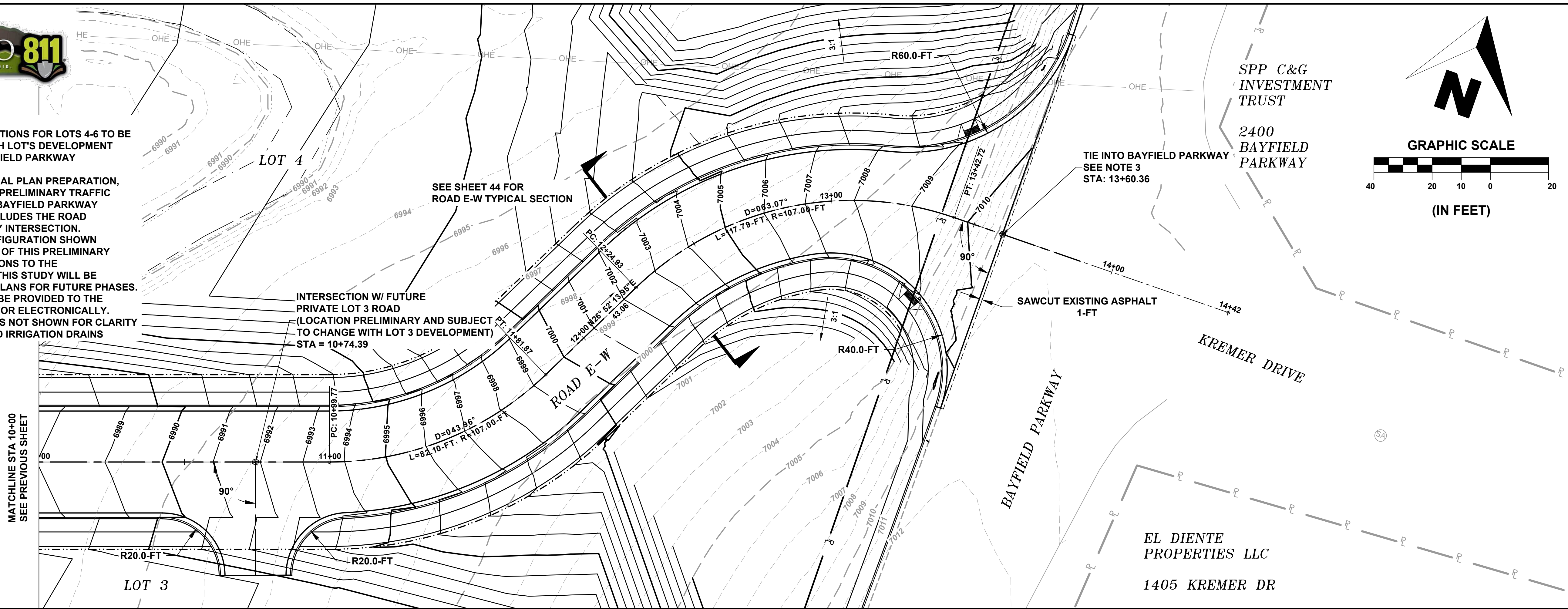
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DATE: 09/14/2023
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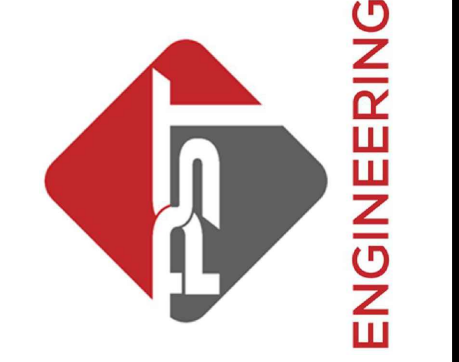


- NOTES:
1. DRIVEWAY APRON LOCATIONS FOR LOTS 4-6 TO BE DETERMINED UPON EACH LOT'S DEVELOPMENT
 2. SEE SHEET 29 FOR BAYFIELD PARKWAY INTERSECTION GRADING
 3. AT THE TIME OF THIS FINAL PLAN PREPARATION, SEH HAS COMPLETED A PRELIMINARY TRAFFIC STUDY FOR THE US 160/BAYFIELD PARKWAY INTERSECTION THAT INCLUDES THE ROAD E-W/BAYFIELD PARKWAY INTERSECTION. THE INTERSECTION CONFIGURATION SHOWN MATCHES THE FINDINGS OF THIS PRELIMINARY STUDY. ANY MODIFICATIONS TO THE RECOMMENDATIONS IN THIS STUDY WILL BE ADDRESSED WITH THE PLANS FOR FUTURE PHASES.
 4. ALIGNMENT FILES WILL BE PROVIDED TO THE CONSTRUCTION SURVEYOR ELECTRONICALLY.
 5. UNDERGROUND UTILITIES NOT SHOWN FOR CLARITY EXCEPT FOR STORM AND IRRIGATION DRAINS



| | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 6992.3 | 6993.7 | 6994.5 | 6995.3 | 6996.3 | 6997.2 | 6998.0 | 6998.6 | 6999.0 | 7000.0 | 7000.6 | 7001.2 | 7002.7 | 7003.4 | 7004.3 | 7005.3 | 7006.2 | 7007.2 | 7008.2 | 7009.2 | 7010.2 | 7010.5 | 7010.6 | 7010.9 | 7010.4 | 7010.2 |
| 6998.03 | 6998.37 | 6999.35 | 6999.38 | 6999.26 | 6999.7 | 6999.66 | 6999.76 | 6999.26 | 7000.66 | 7000.6 | 7001.06 | 7002.46 | 7003.36 | 7004.36 | 7005.3 | 7006.26 | 7007.58 | 7008.62 | 7009.62 | 7010.5 | 7010.62 | 7010.9 | 7010.4 | 7010.2 | |

PST ENGINEERING, LLC
 2615 MAIN AVE. SUITE 209
 DURANGO, CO 81301
 970-403-5492



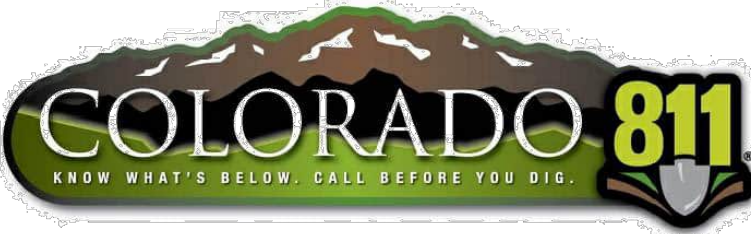
HAGA PROPERTY
 MASTER PLAN
 2107 BAYFIELD PARKWAY
 BAYFIELD, CO 81122
 ROAD E-W P-PRO
 STA 10+00 - END

REVISIONS:

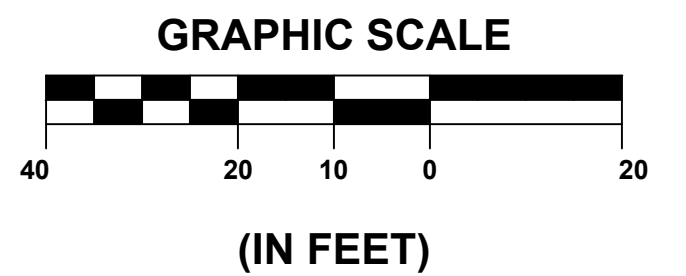
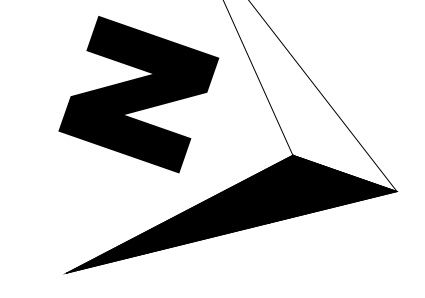
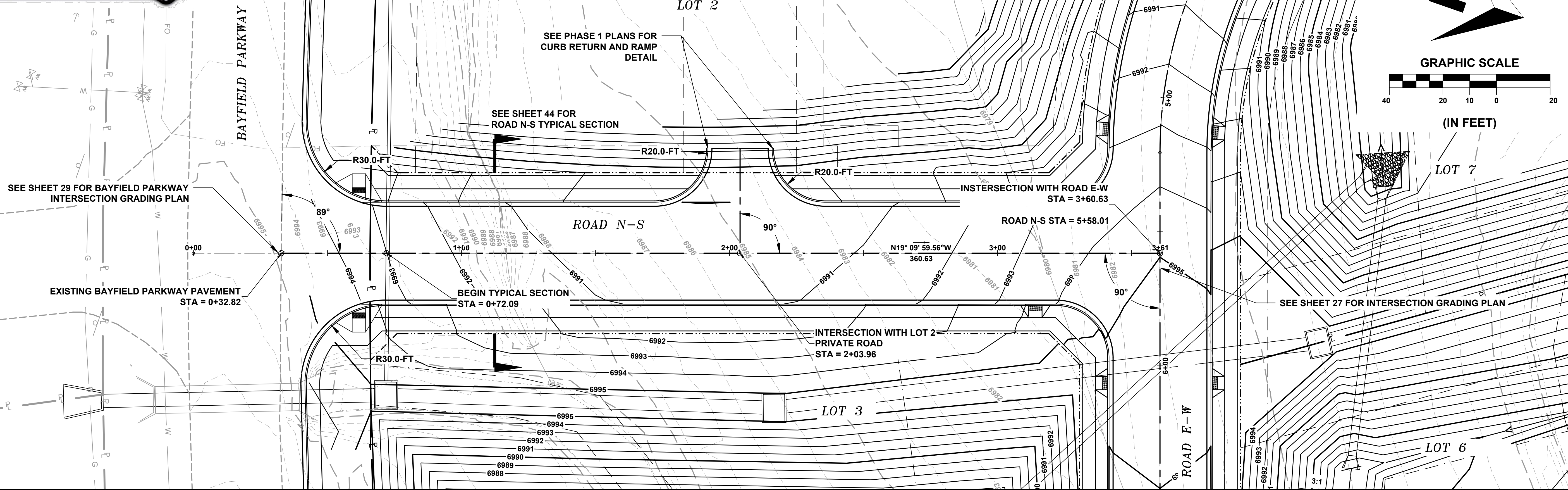
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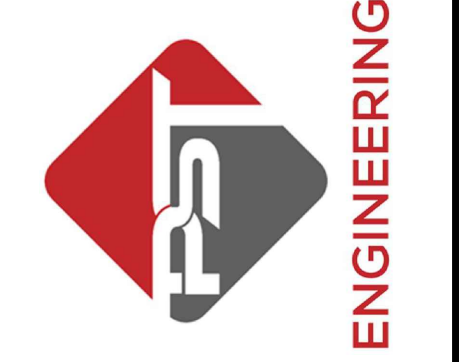


- NOTES:**
- ALIGNMENT FILES WILL BE PROVIDED TO THE CONSTRUCTION SURVEYOR ELECTRONICALLY.
 - UNDERGROUND UTILITIES NOT SHOWN FOR CLARITY EXCEPT FOR STORM AND IRRIGATION DRAINS

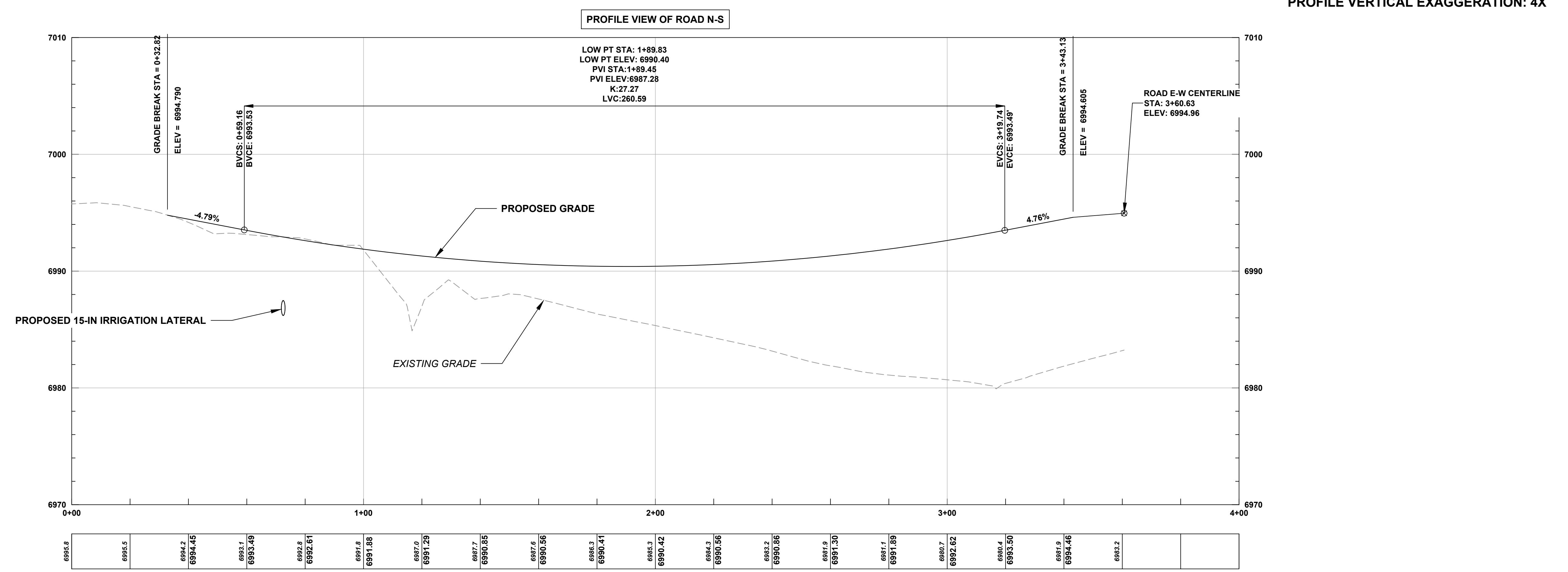


SHEET
9 OF **49**

PST ENGINEERING, LLC
2615 MAIN AVE., SUITE 209
DURANGO, CO 81301
970-403-5492



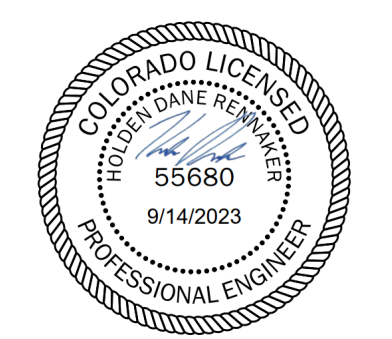
**HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
ROAD N-S P-PRO**

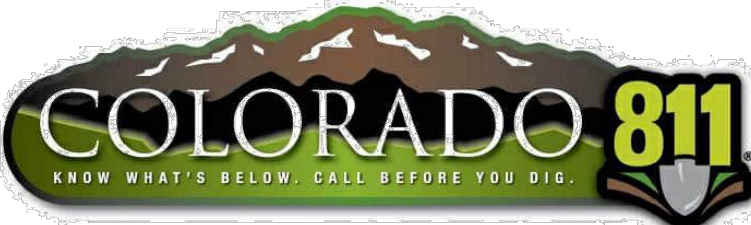


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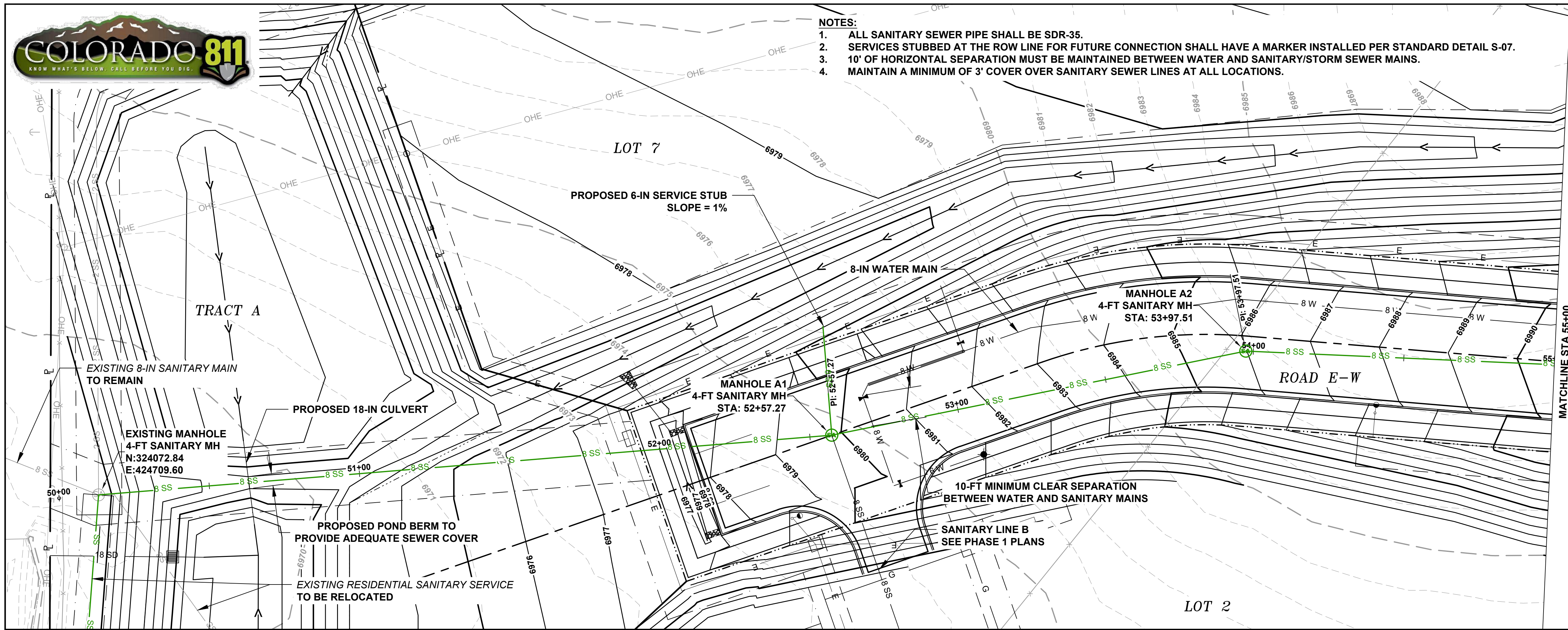
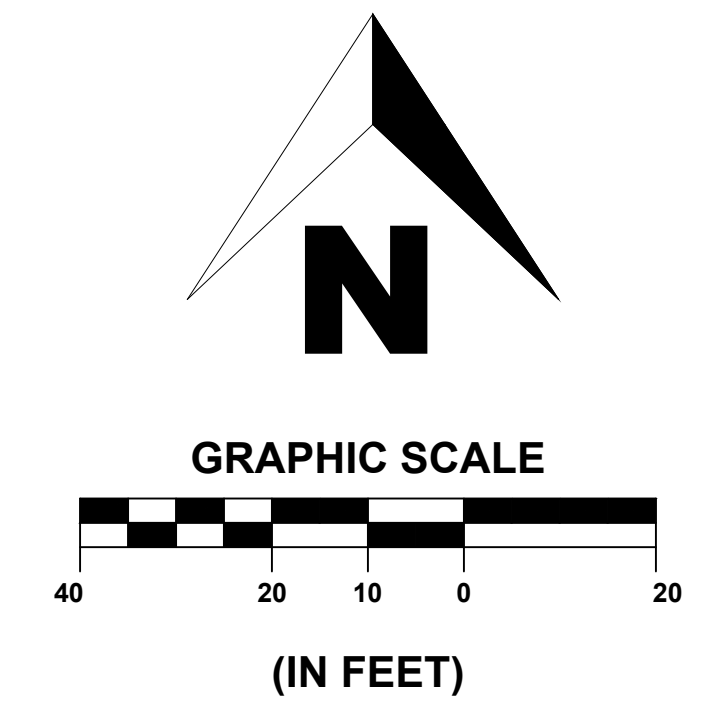
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DATE: 09/14/2023
DRAWN BY: HR
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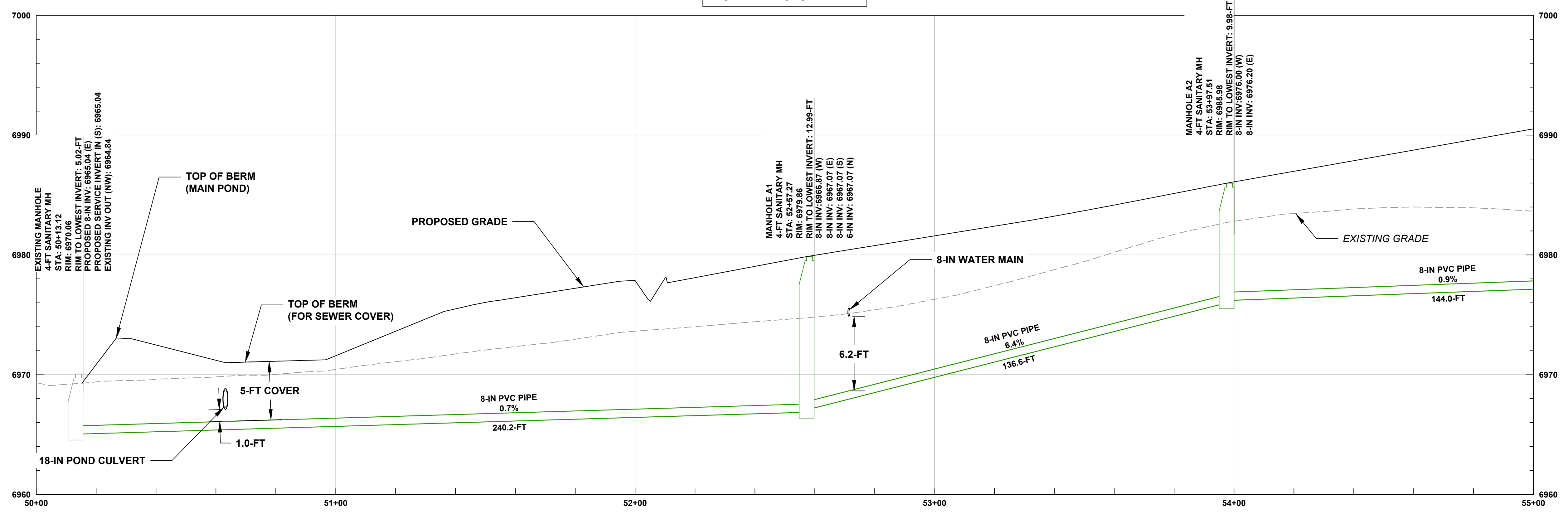


- NOTES:**
1. ALL SANITARY SEWER PIPE SHALL BE SDR-35.
 2. SERVICES STUBBED AT THE ROW LINE FOR FUTURE CONNECTION SHALL HAVE A MARKER INSTALLED PER STANDARD DETAIL S-07.
 3. 10' OF HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN WATER AND SANITARY/STORM SEWER MAINS.
 4. MAINTAIN A MINIMUM OF 3' COVER OVER SANITARY SEWER LINES AT ALL LOCATIONS.



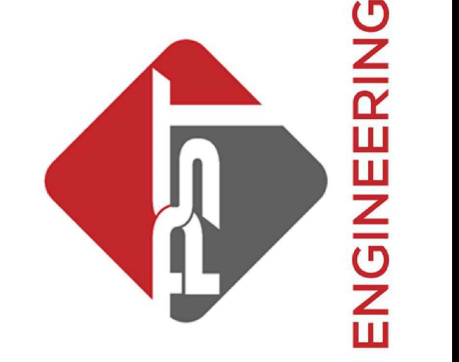
PROFILE VERTICAL EXAGGERATION: 4X

PROFILE VIEW OF SANITARY A



SHEET
10 OF **49**

PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

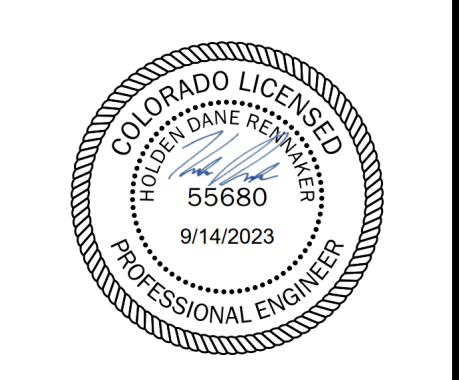


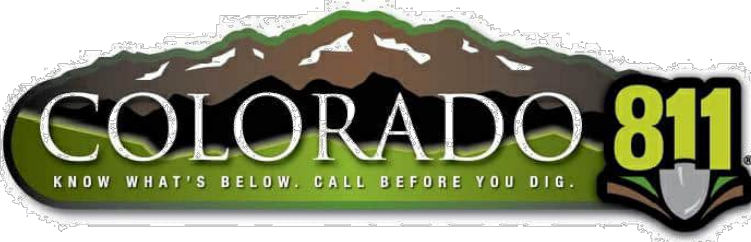
HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
SANITARY P-PRO
STA 50+00 - 55+00

REVISIONS:

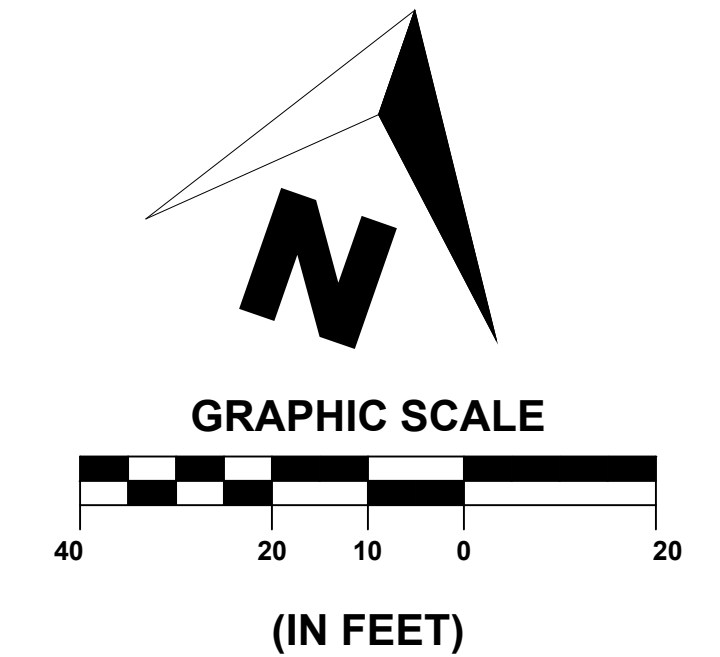
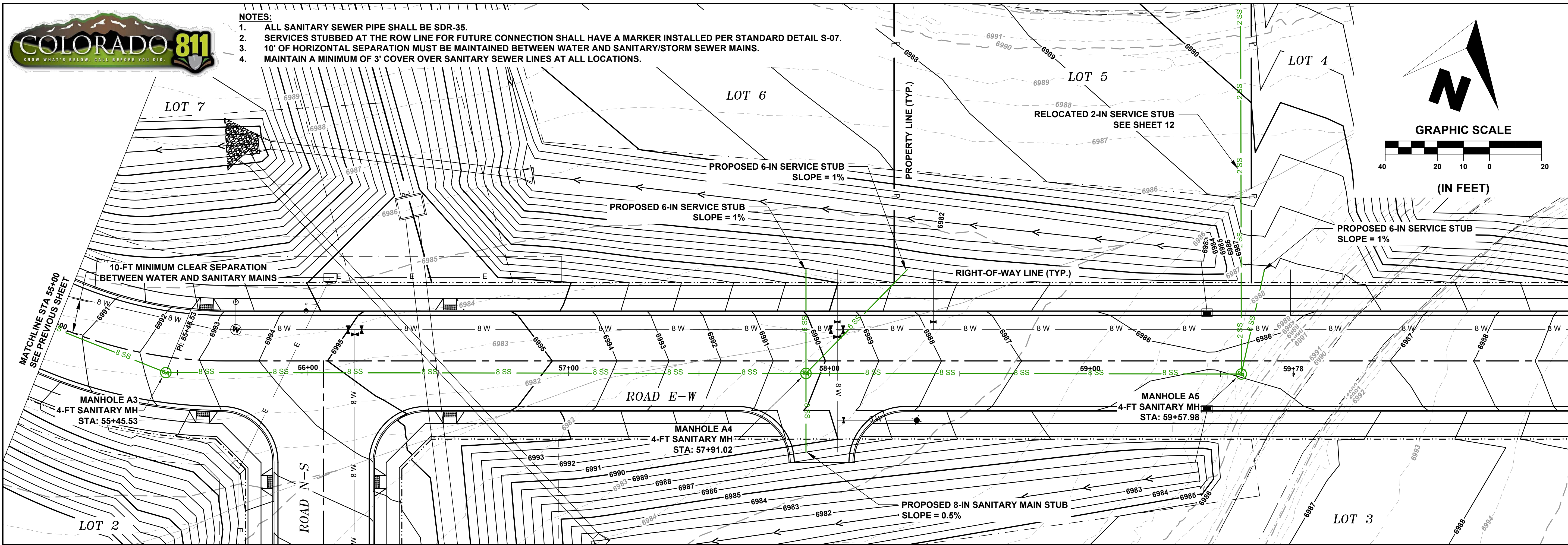
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DATE: 09/14/2023
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- NOTES:**
1. ALL SANITARY SEWER PIPE SHALL BE SDR-35.
 2. SERVICES STUBBED AT THE ROW LINE FOR FUTURE CONNECTION SHALL HAVE A MARKER INSTALLED PER STANDARD DETAIL S-07.
 3. 10' OF HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN WATER AND SANITARY/STORM SEWER MAINS.
 4. MAINTAIN A MINIMUM OF 3' COVER OVER SANITARY SEWER LINES AT ALL LOCATIONS.

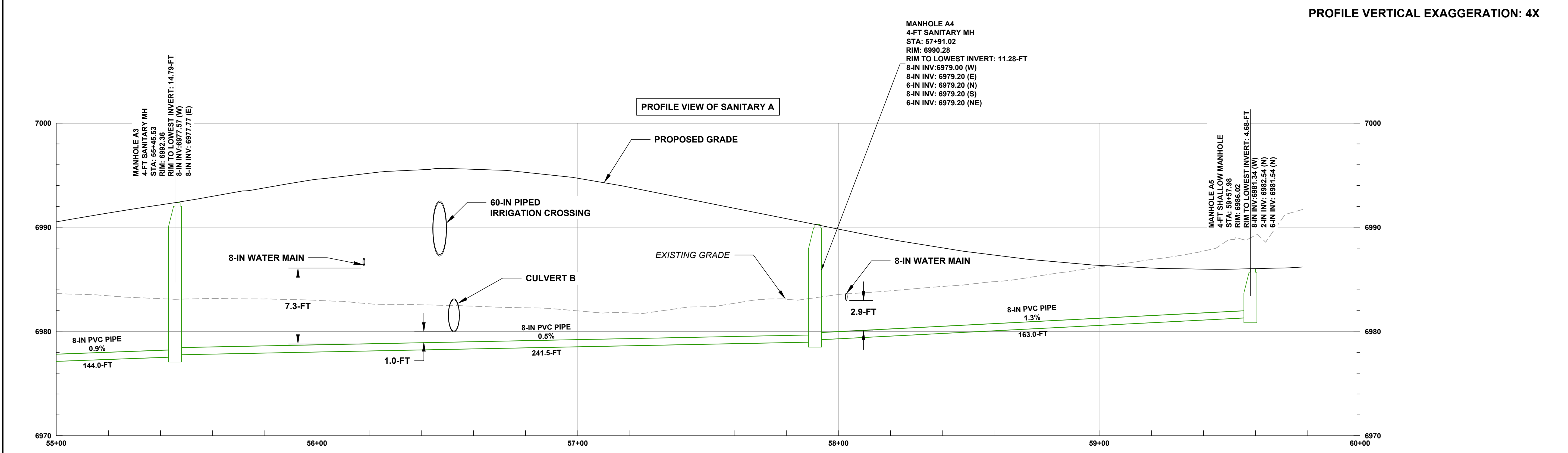


SHEET 11 OF 49

PST ENGINEERING, LLC
 2615 MAIN AVE. SUITE 209
 DURANGO, CO 81301
 970-403-5492

ENGINEERING

HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
SANITARY P-PRO
STA 55+00 - END

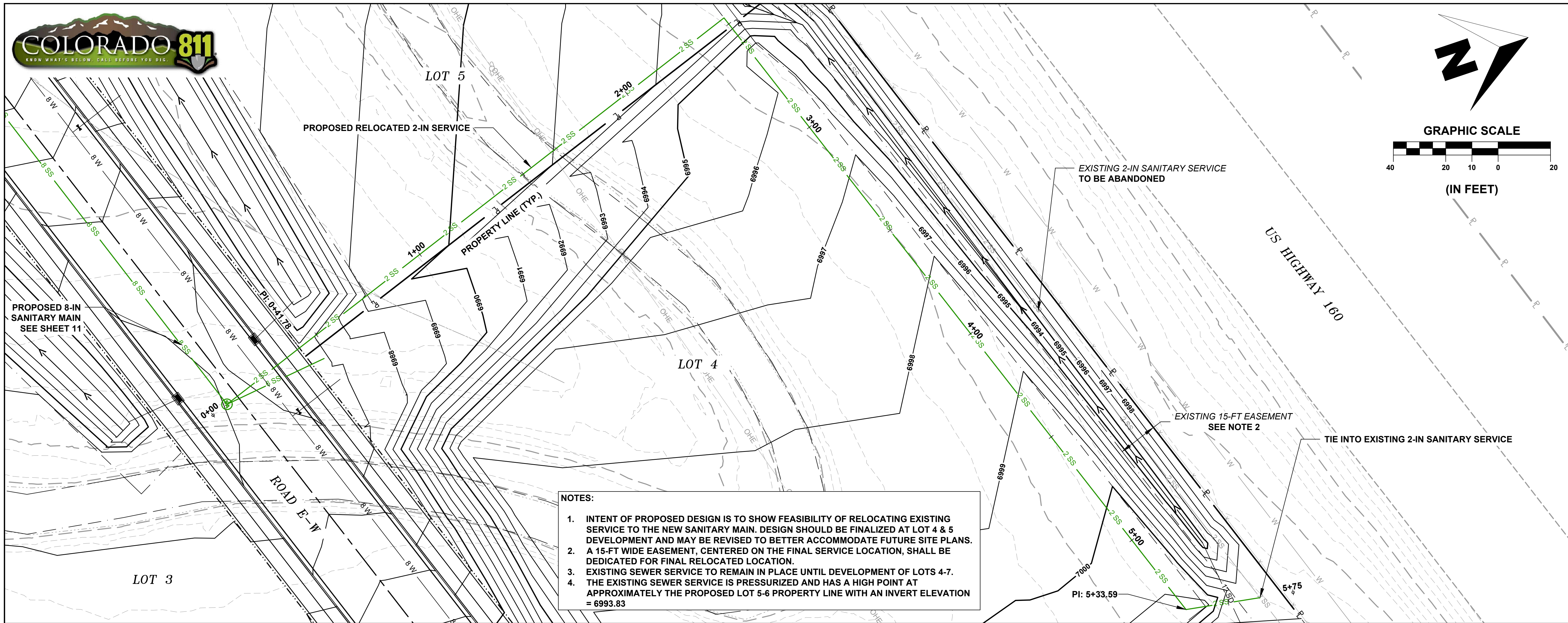
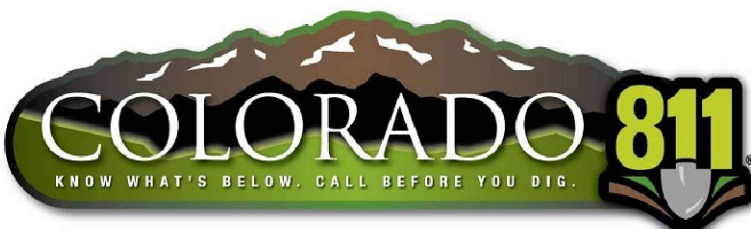


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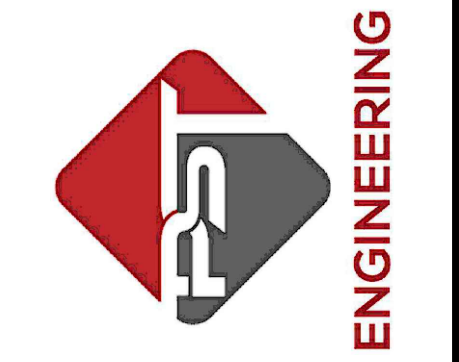




- NOTES:**
1. INTENT OF PROPOSED DESIGN IS TO SHOW FEASIBILITY OF RELOCATING EXISTING SERVICE TO THE NEW SANITARY MAIN. DESIGN SHOULD BE FINALIZED AT LOT 4 & 5 DEVELOPMENT AND MAY BE REVISED TO BETTER ACCOMMODATE FUTURE SITE PLANS.
 2. A 15-FT WIDE EASEMENT, CENTERED ON THE FINAL SERVICE LOCATION, SHALL BE DEDICATED FOR FINAL RELOCATED LOCATION.
 3. EXISTING SEWER SERVICE TO REMAIN IN PLACE UNTIL DEVELOPMENT OF LOTS 4-7.
 4. THE EXISTING SEWER SERVICE IS PRESSURIZED AND HAS A HIGH POINT AT APPROXIMATELY THE PROPOSED LOT 5-6 PROPERTY LINE WITH AN INVERT ELEVATION = 6993.83

SHEET 12 OF 49

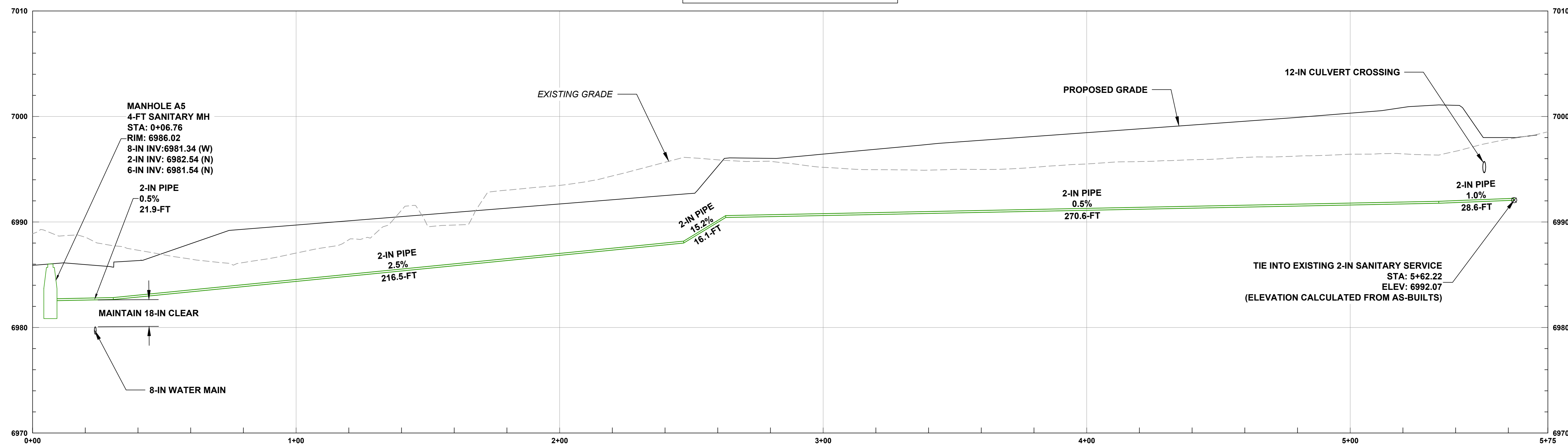
PST ENGINEERING, LLC
 2615 MAIN AVE. SUITE 209
 DURANGO, CO 81301
 970-403-5492



HAGA PROPERTY
 MASTER PLAN
 2107 BAYFIELD PARKWAY
 BAYFIELD, CO 81122
 RELOCATED SANITARY
 SERVICE P-PRO

PROFILE VIEW OF 2-IN SANITARY RELOCATION

PROFILE VERTICAL EXAGGERATION: 4X

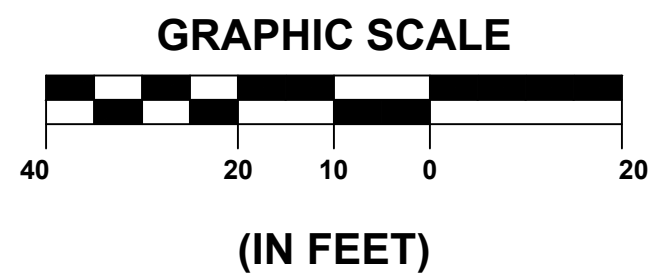
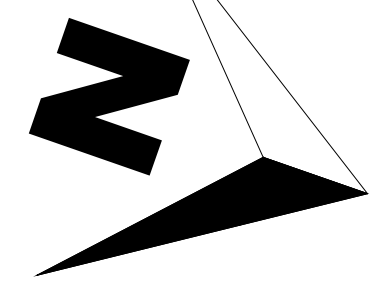
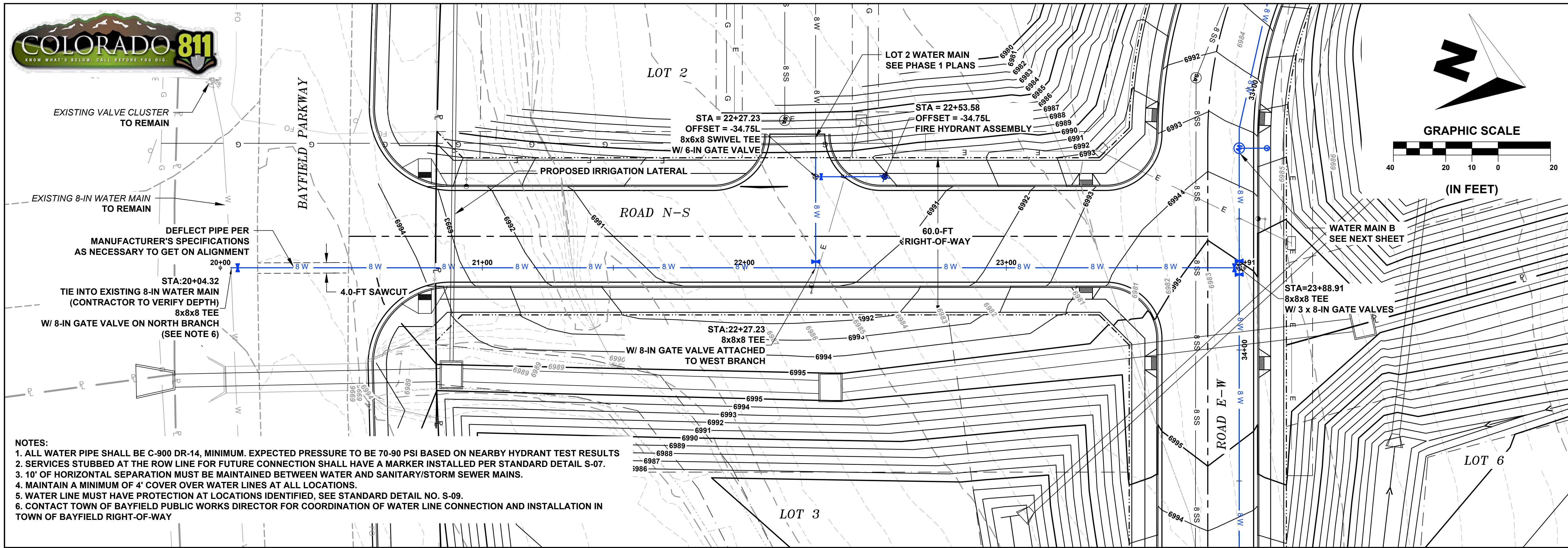
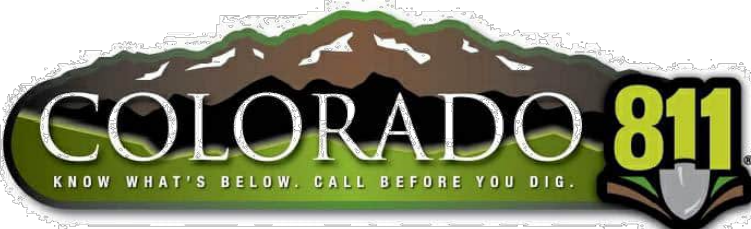


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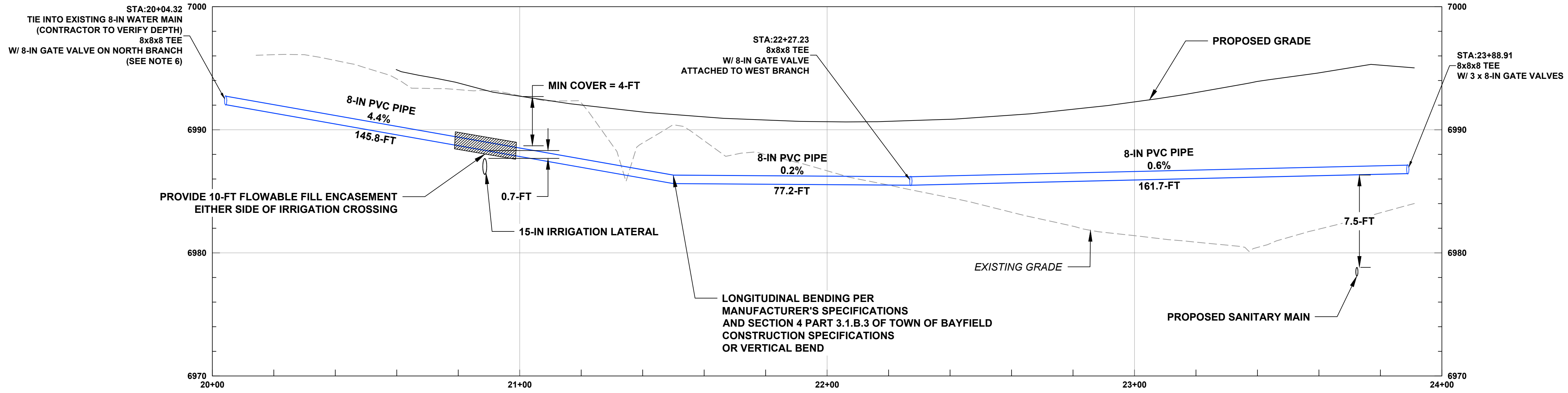




- NOTES:
1. ALL WATER PIPE SHALL BE C-900 DR-14, MINIMUM. EXPECTED PRESSURE TO BE 70-90 PSI BASED ON NEARBY HYDRANT TEST RESULTS
 2. SERVICES STUBBED AT THE ROW LINE FOR FUTURE CONNECTION SHALL HAVE A MARKER INSTALLED PER STANDARD DETAIL S-07.
 3. 10' OF HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN WATER AND SANITARY/STORM SEWER MAINS.
 4. MAINTAIN A MINIMUM OF 4' COVER OVER WATER LINES AT ALL LOCATIONS.
 5. WATER LINE MUST HAVE PROTECTION AT LOCATIONS IDENTIFIED, SEE STANDARD DETAIL NO. S-09.
 6. CONTACT TOWN OF BAYFIELD PUBLIC WORKS DIRECTOR FOR COORDINATION OF WATER LINE CONNECTION AND INSTALLATION IN TOWN OF BAYFIELD RIGHT-OF-WAY

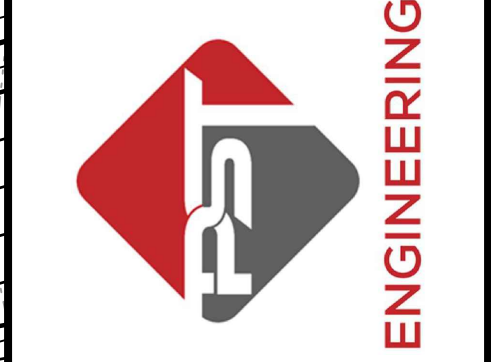
PROFILE VERTICAL EXAGGERATION: 4X

PROFILE VIEW OF WATER A



SHEET 13 OF 49

PST ENGINEERING, LLC
2615 MAIN AVE, SUITE 209
DURANGO, CO 81301
970-403-5492

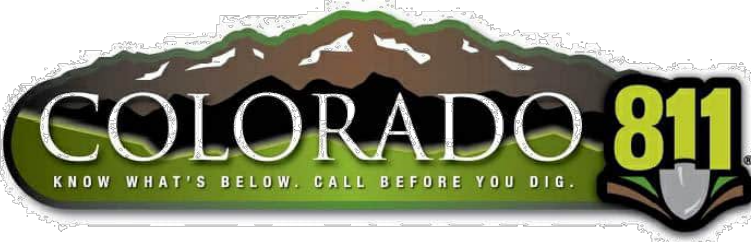


HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
WATER A P-PRO

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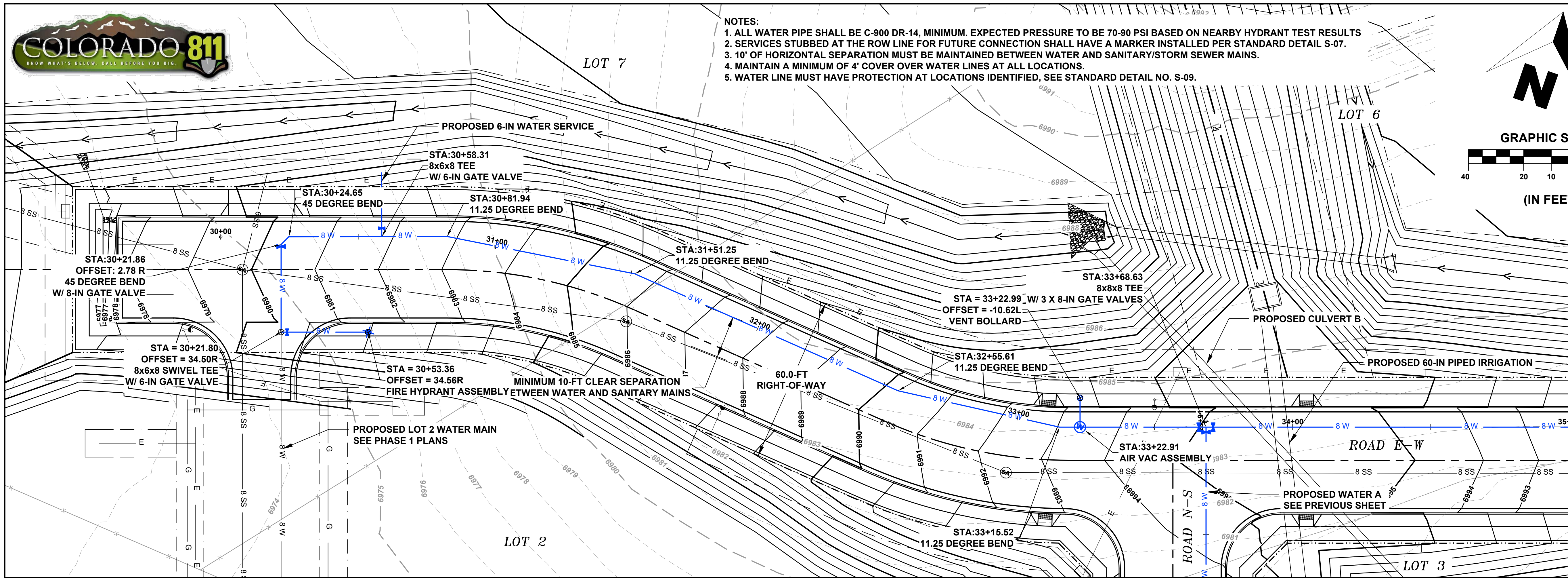
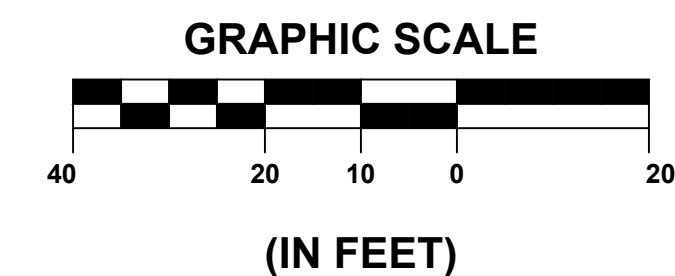
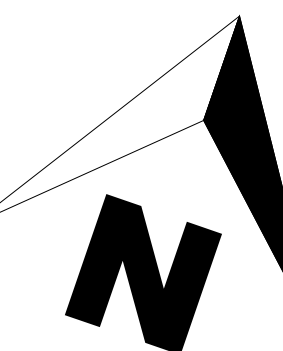
DATE: 09/14/2023
DRAWN BY: HR
CHECKED BY: SP





NOTES:

1. ALL WATER PIPE SHALL BE C-900 DR-14, MINIMUM. EXPECTED PRESSURE TO BE 70-90 PSI BASED ON NEARBY HYDRANT TEST RESULTS
2. SERVICES STUBBED AT THE ROW LINE FOR FUTURE CONNECTION SHALL HAVE A MARKER INSTALLED PER STANDARD DETAIL S-07.
3. 10' OF HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN WATER AND SANITARY/STORM SEWER MAINS.
4. MAINTAIN A MINIMUM OF 4' COVER OVER WATER LINES AT ALL LOCATIONS.
5. WATER LINE MUST HAVE PROTECTION AT LOCATIONS IDENTIFIED, SEE STANDARD DETAIL NO. S-09.

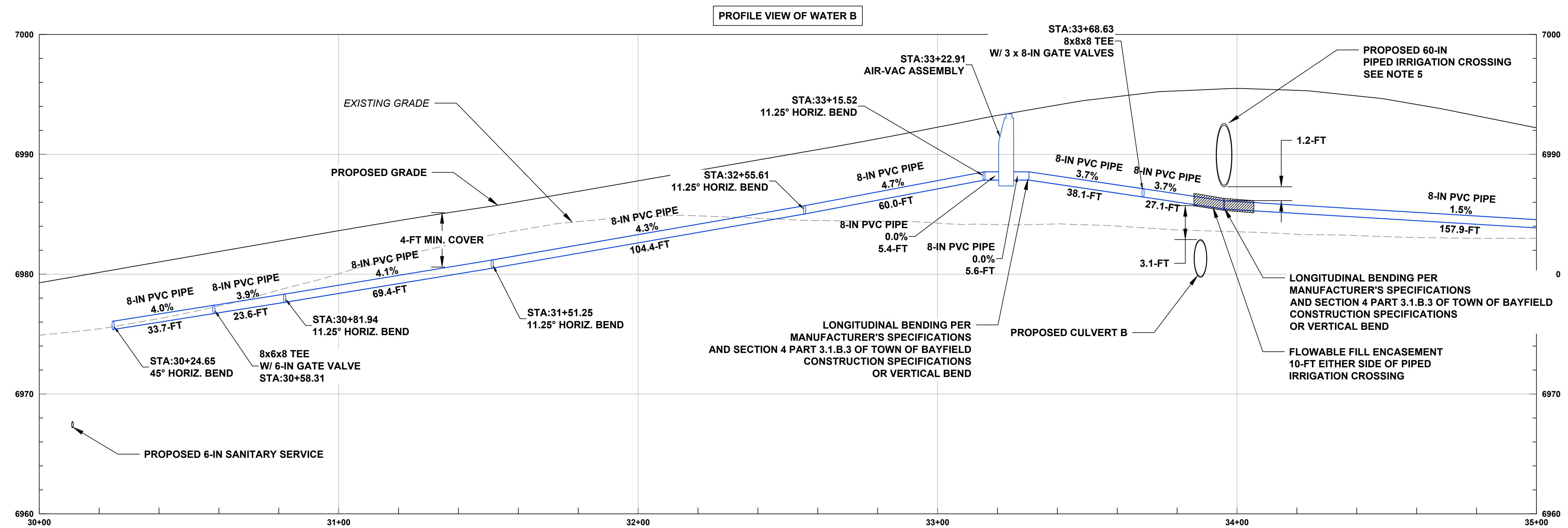


SHEET
14 OF 49

PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

**HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
WATER B P-PRO
STA 30+00 - 35+00**

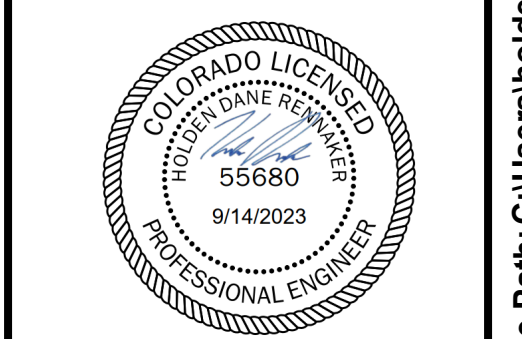
PROFILE VERTICAL EXAGGERATION: 4X

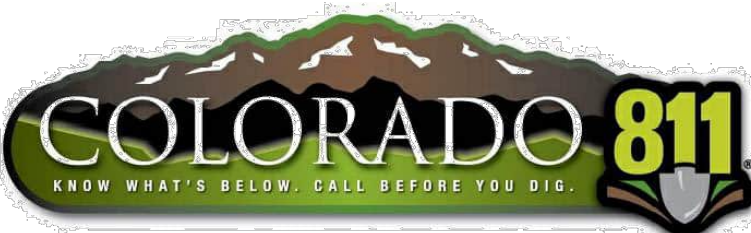


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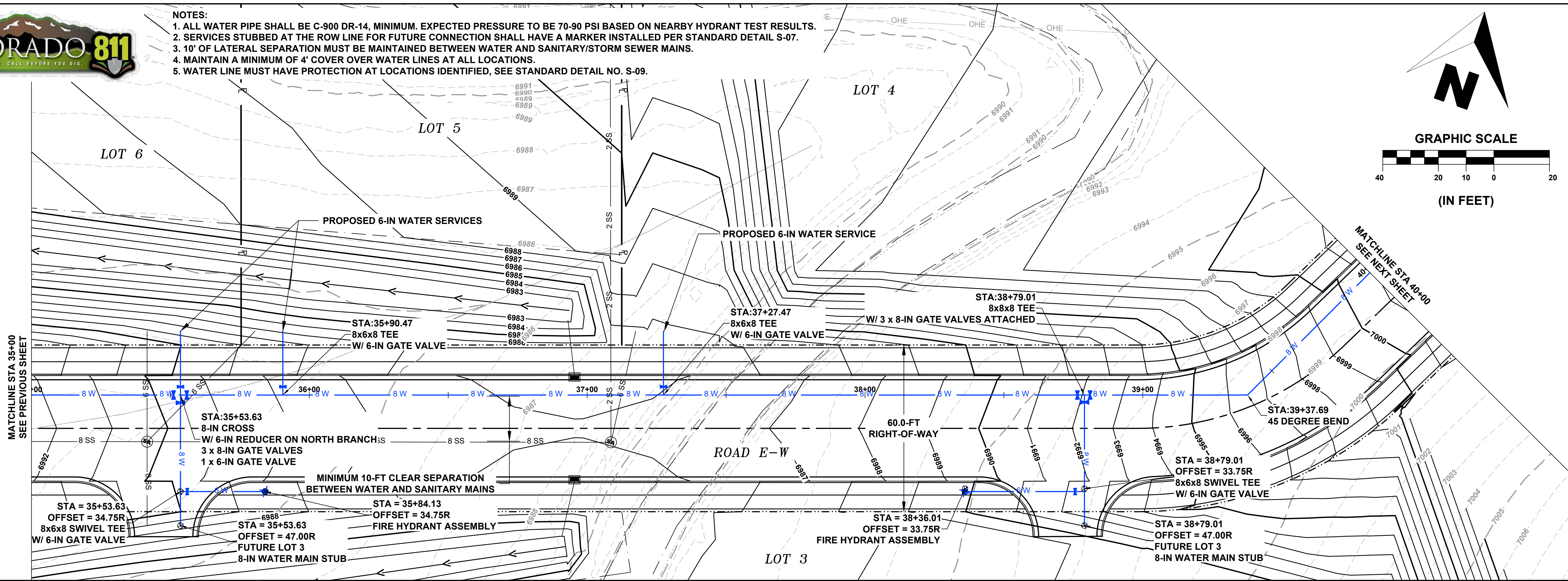
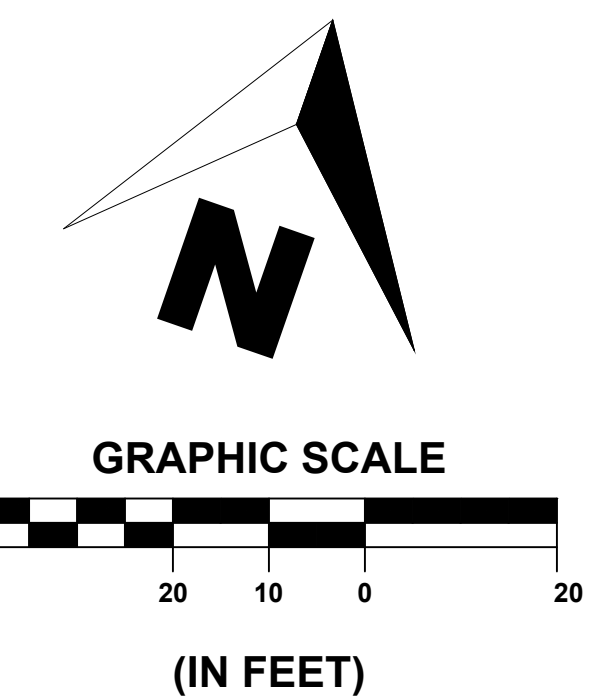
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DATE: 09/14/2023
DRAWN BY: HR
CHECKED BY: SP





- NOTES:**
1. ALL WATER PIPE SHALL BE C-900 DR-14, MINIMUM. EXPECTED PRESSURE TO BE 70-90 PSI BASED ON NEARBY HYDRANT TEST RESULTS.
 2. SERVICES STUBBED AT THE ROW LINE FOR FUTURE CONNECTION SHALL HAVE A MARKER INSTALLED PER STANDARD DETAIL S-07.
 3. 10' OF LATERAL SEPARATION MUST BE MAINTAINED BETWEEN WATER AND SANITARY/STORM SEWER MAINS.
 4. MAINTAIN A MINIMUM OF 4' COVER OVER WATER LINES AT ALL LOCATIONS.
 5. WATER LINE MUST HAVE PROTECTION AT LOCATIONS IDENTIFIED, SEE STANDARD DETAIL NO. S-09.



SHEET
15 OF 49

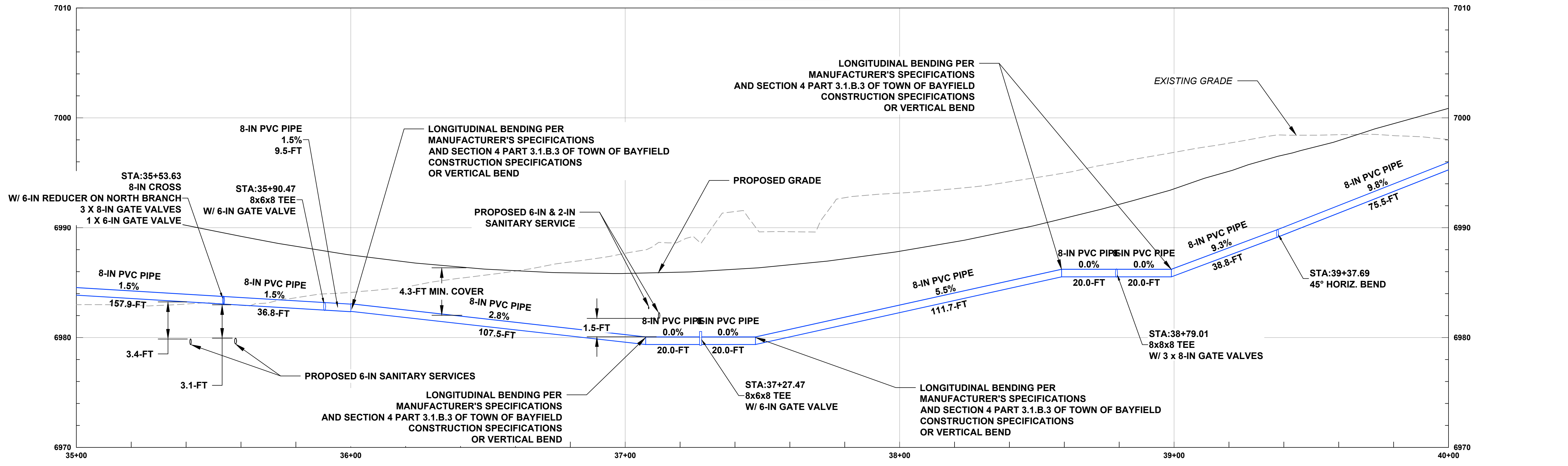
PST ENGINEERING, LLC
2615 MAIN AVE, SUITE 209
DURANGO, CO 81301
970-403-5492

ENGINEERING

HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
WATER B P-PRO
STA 35+00 - 40+00

PROFILE VERTICAL EXAGGERATION: 4X

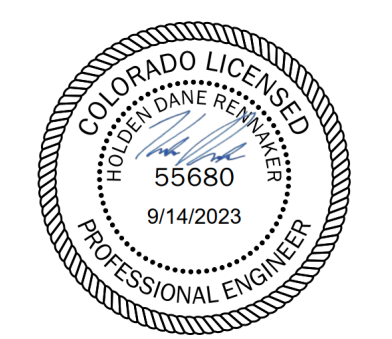
PROFILE VIEW OF WATER B

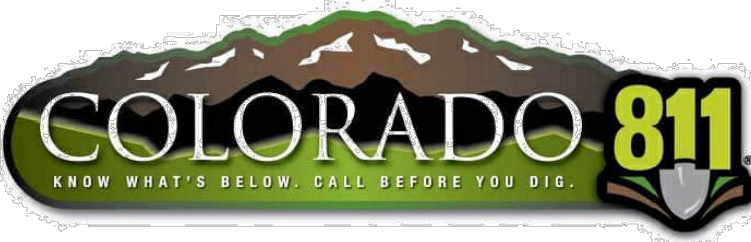


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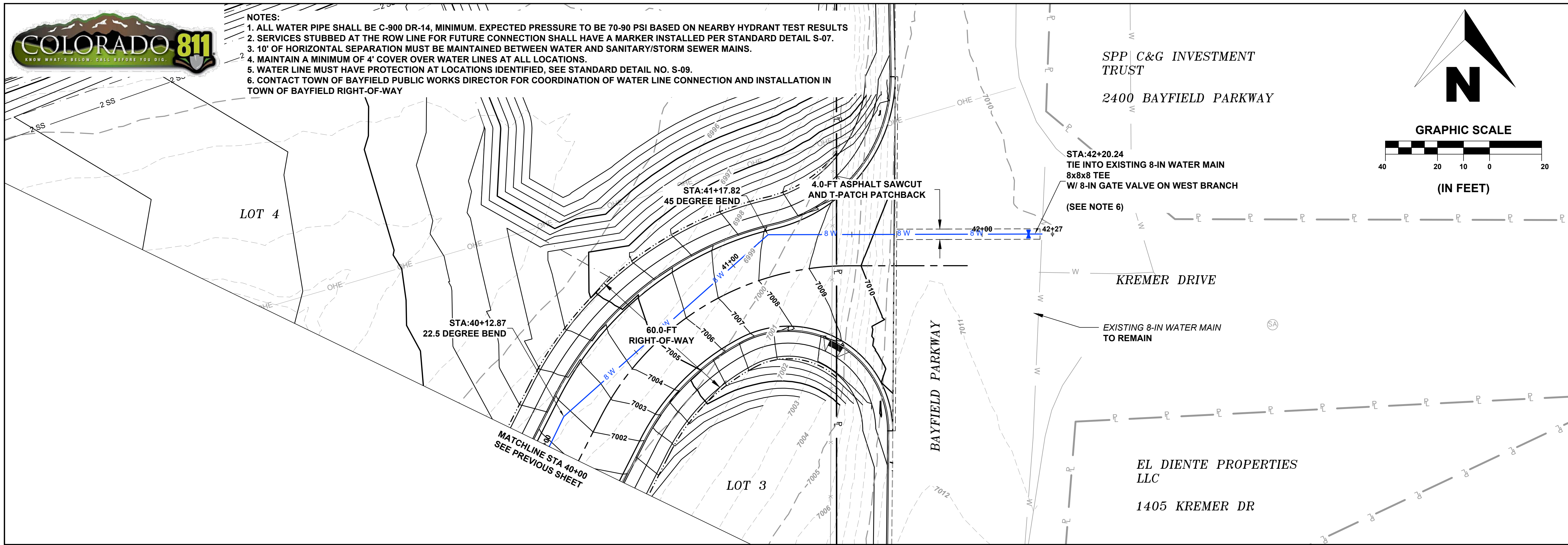
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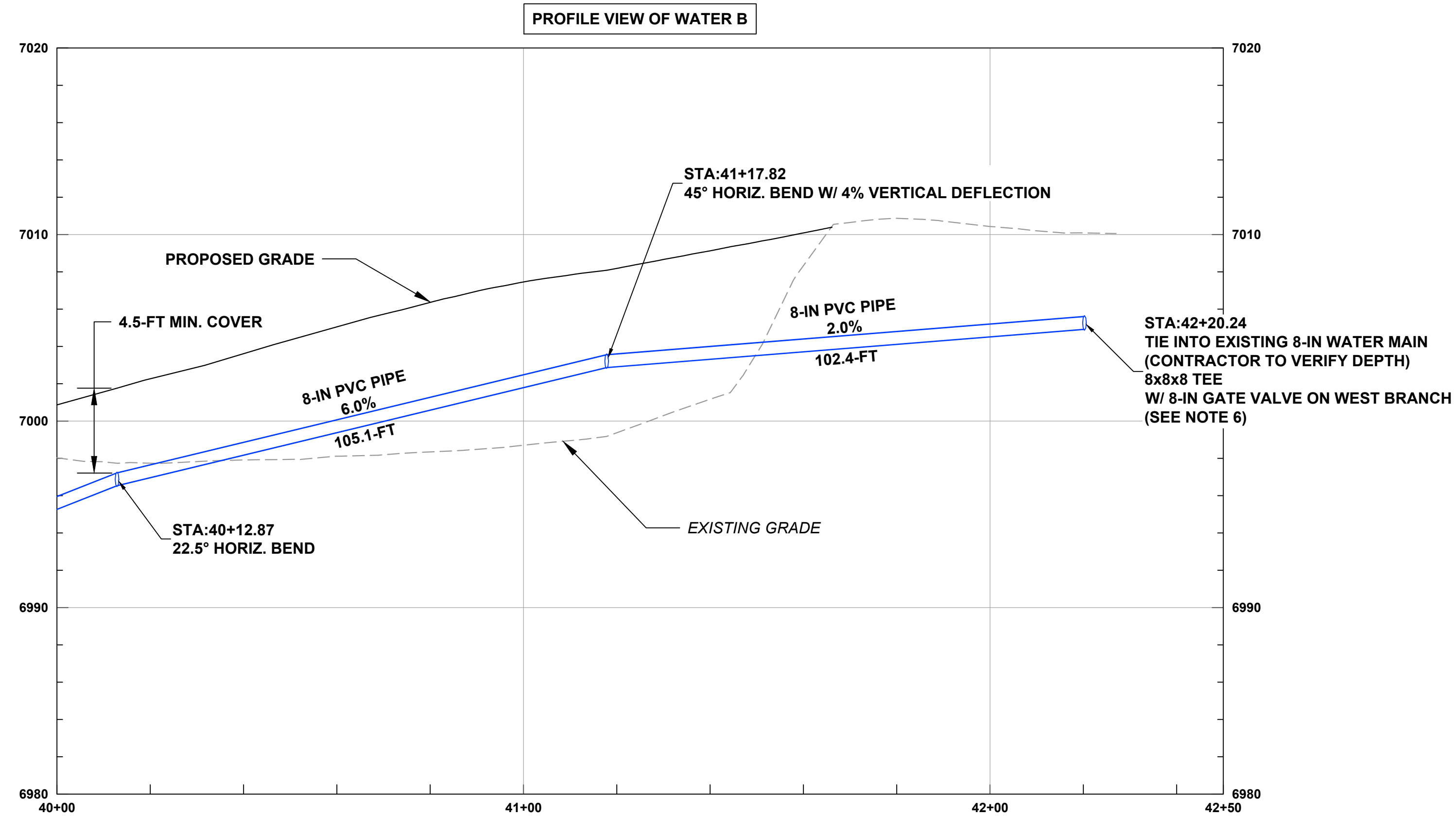




- NOTES:**
1. ALL WATER PIPE SHALL BE C-900 DR-14, MINIMUM. EXPECTED PRESSURE TO BE 70-90 PSI BASED ON NEARBY HYDRANT TEST RESULTS
 2. SERVICES STUBBED AT THE ROW LINE FOR FUTURE CONNECTION SHALL HAVE A MARKER INSTALLED PER STANDARD DETAIL S-07.
 3. 10' OF HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN WATER AND SANITARY/STORM SEWER MAINS.
 4. MAINTAIN A MINIMUM OF 4' COVER OVER WATER LINES AT ALL LOCATIONS.
 5. WATER LINE MUST HAVE PROTECTION AT LOCATIONS IDENTIFIED, SEE STANDARD DETAIL NO. S-09.
 6. CONTACT TOWN OF BAYFIELD PUBLIC WORKS DIRECTOR FOR COORDINATION OF WATER LINE CONNECTION AND INSTALLATION IN TOWN OF BAYFIELD RIGHT-OF-WAY

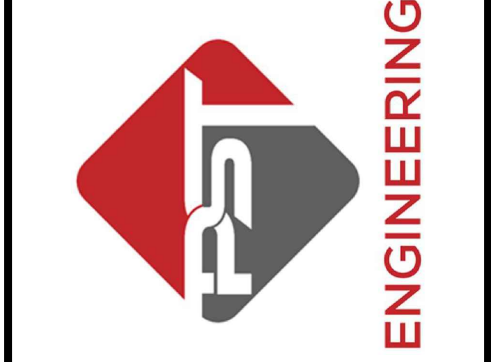


PROFILE VERTICAL EXAGGERATION: 4X



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2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492



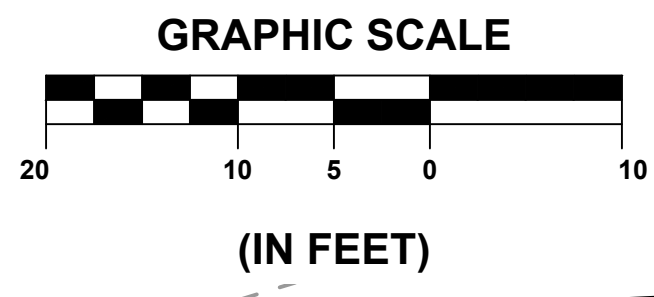
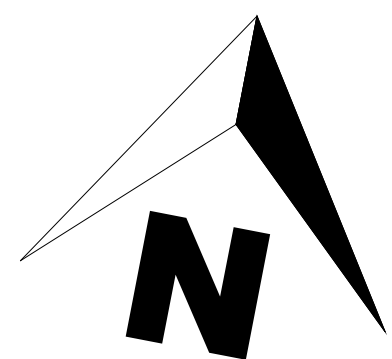
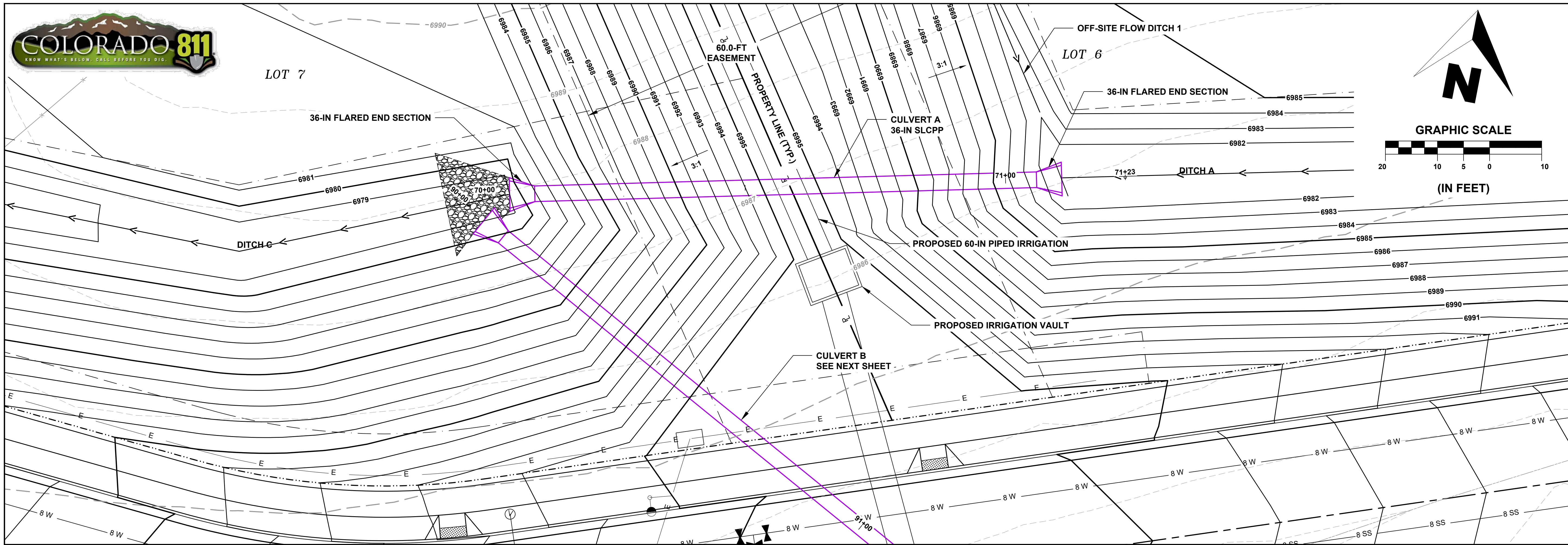
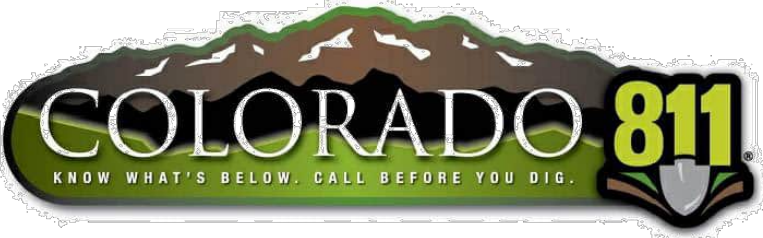
HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
WATER B P-PRO
STA 40+00 - END

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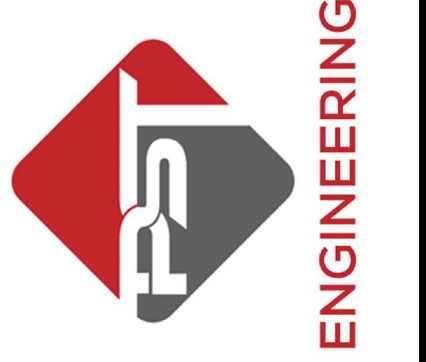
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17 OF 49

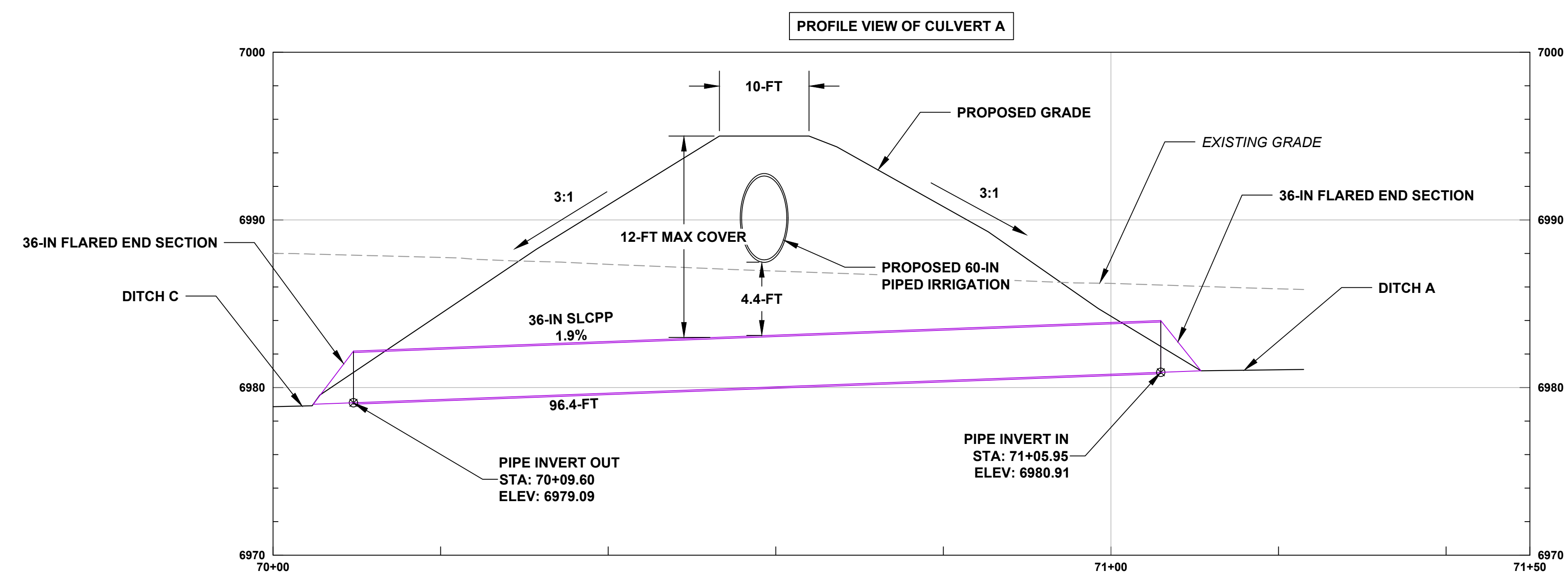
PST ENGINEERING, LLC
2615 MAIN AVE, SUITE 209
DURANGO, CO 81301
970-403-5492



HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
CULVERT A P-PRO

SLCPP = SMOOTH LINED CORRUGATED PLASTIC PIPE

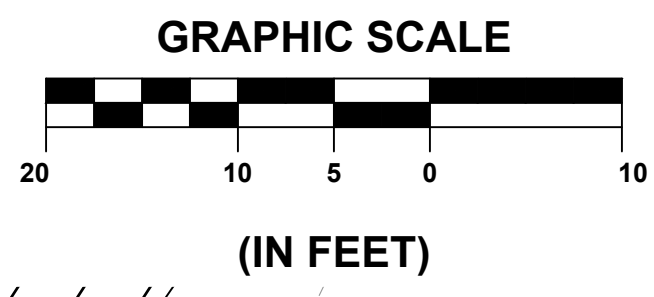
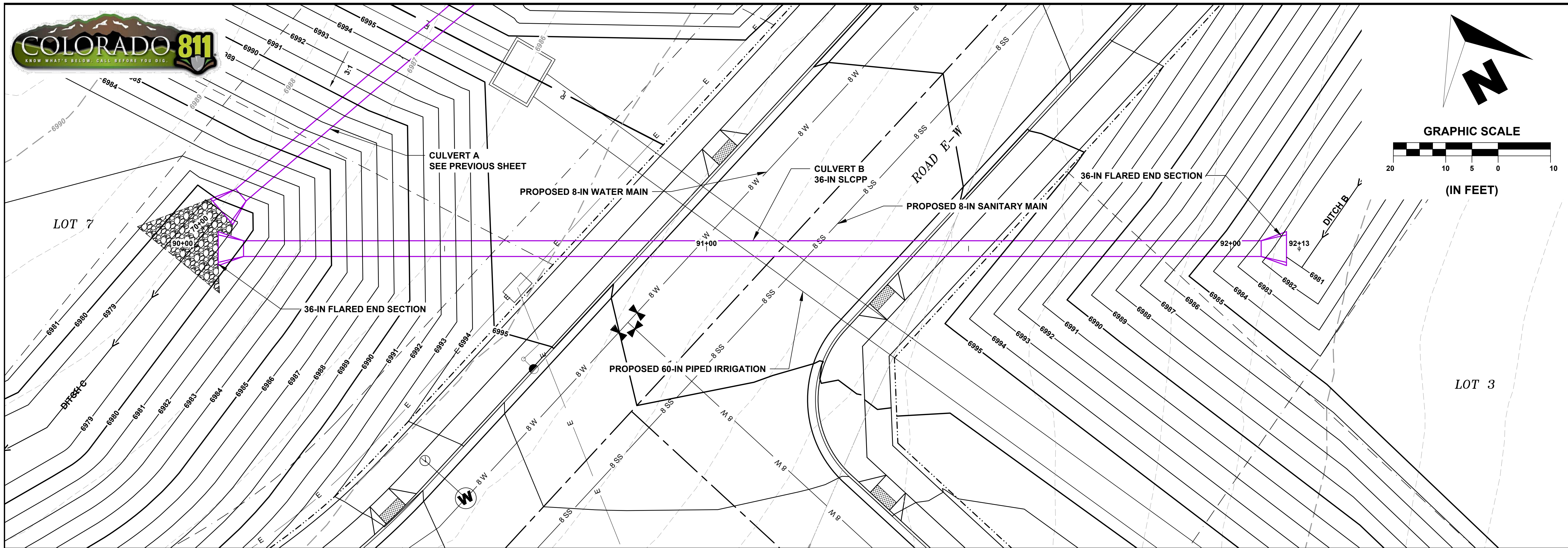
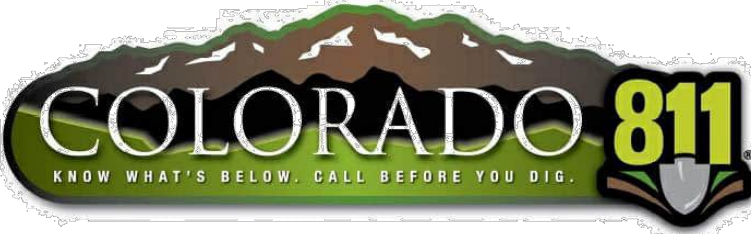
PROFILE VERTICAL EXAGGERATION: 2X



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PST ENGINEERING, LLC
2615 MAIN AVE, SUITE 209
DURANGO, CO 81301
970-403-5492

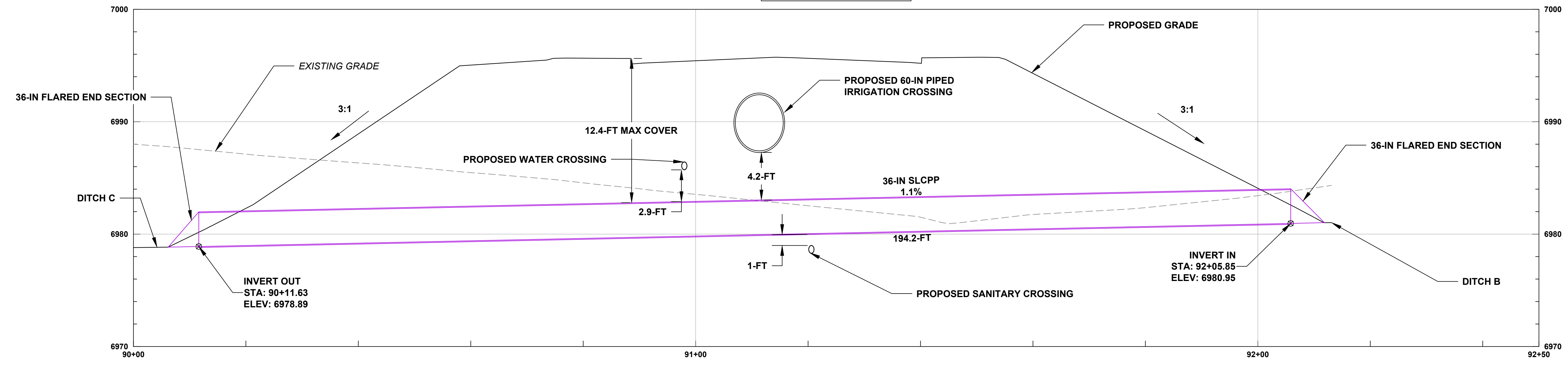


**HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
CULVERT B P-PRO**

SLCPP = SMOOTH LINED CORRUGATED PLASTIC PIPE

PROFILE VERTICAL EXAGGERATION: 2X

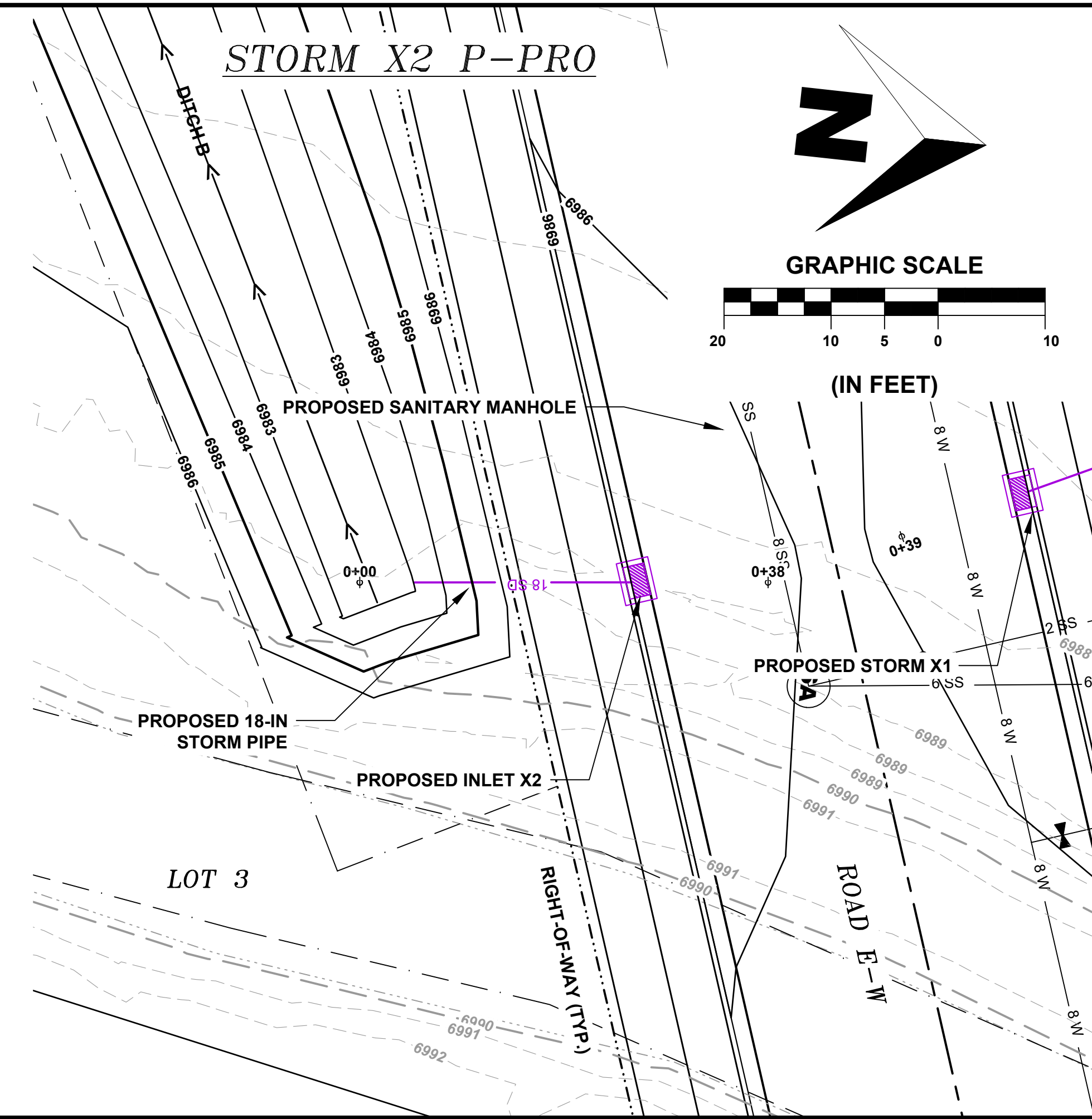
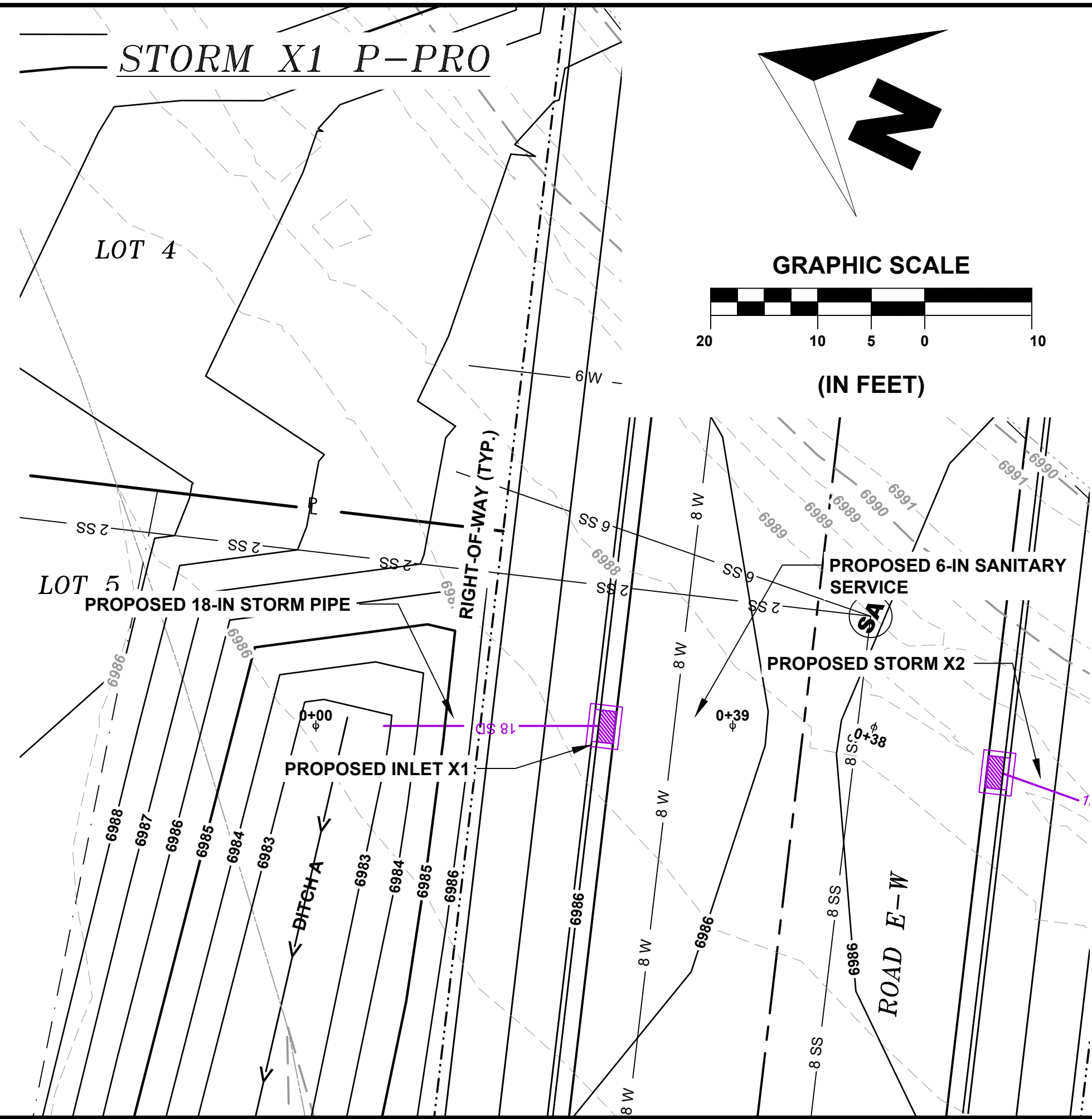
PROFILE VIEW OF CULVERT B



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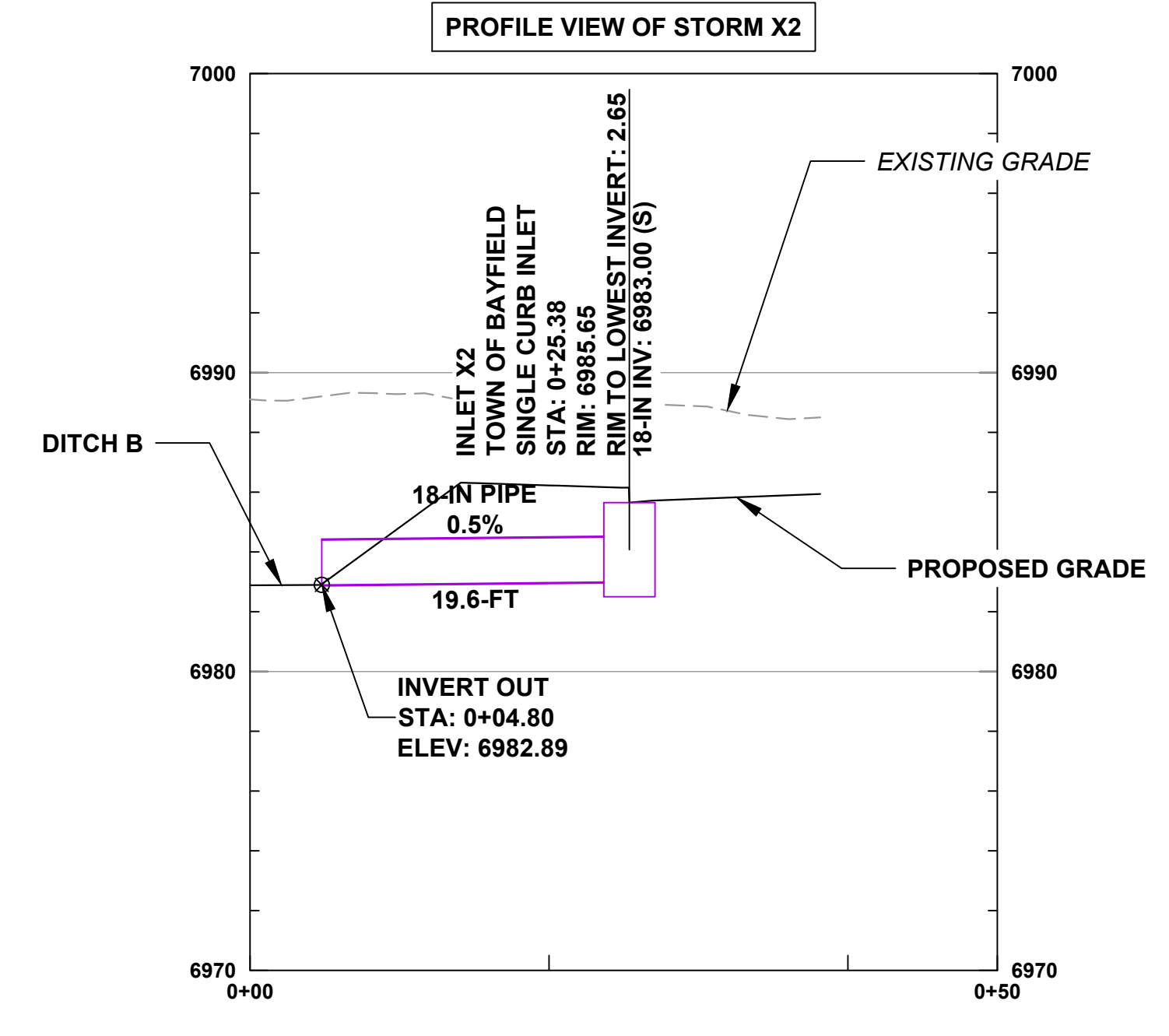
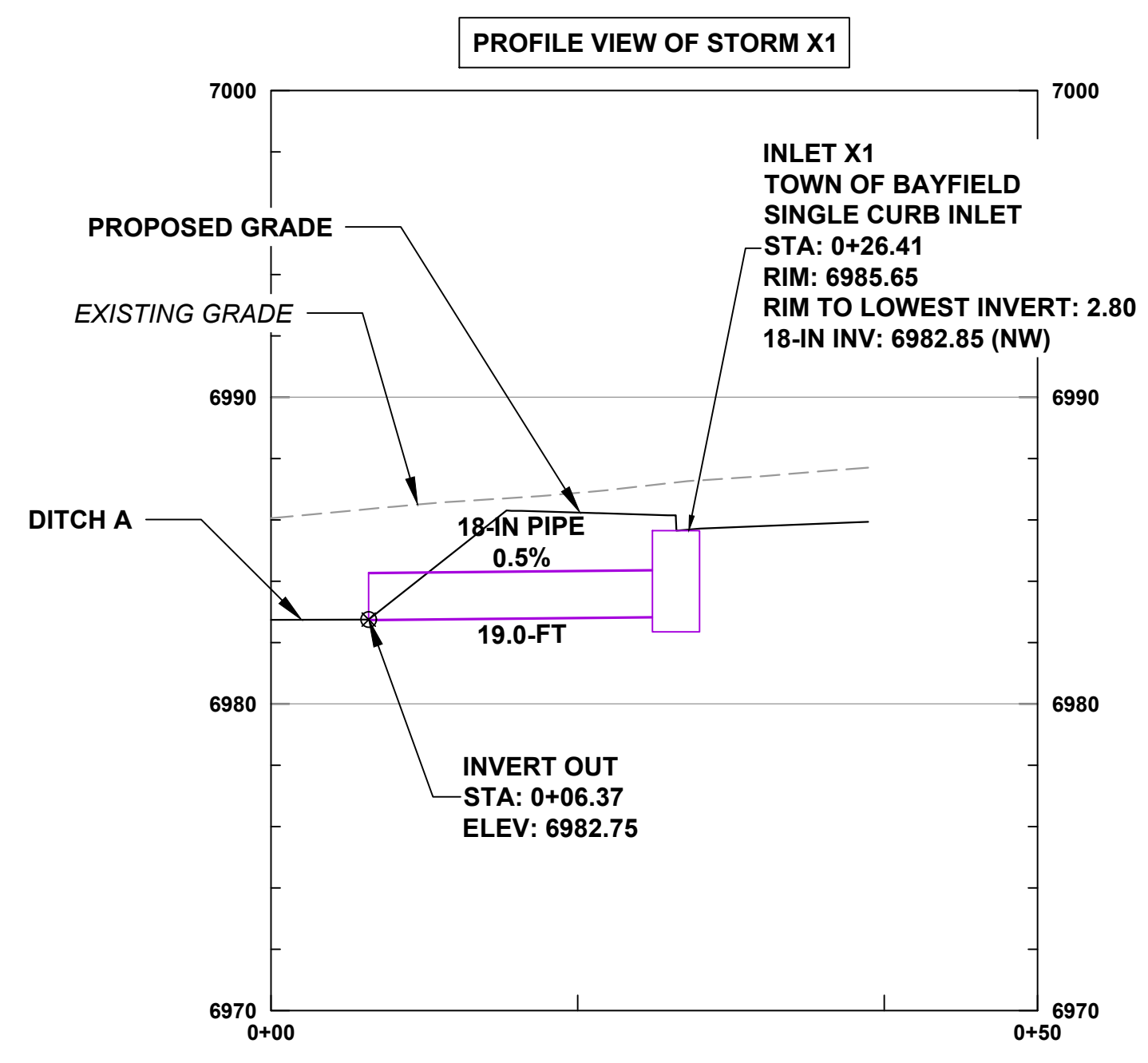




- NOTES:
1. RIM ELEVATIONS SHOWN ARE TO CURB FLOWLINE
 2. STATION CALLOUT IS TO CENTER OF STRUCTURE AT CURB FLOWLINE

- NOTES:
1. RIM ELEVATIONS SHOWN ARE TO CURB FLOWLINE
 2. STATION CALLOUT IS TO CENTER OF STRUCTURE AT CURB FLOWLINE

ALL PROFILE VERTICAL EXAGGERATION: 2X



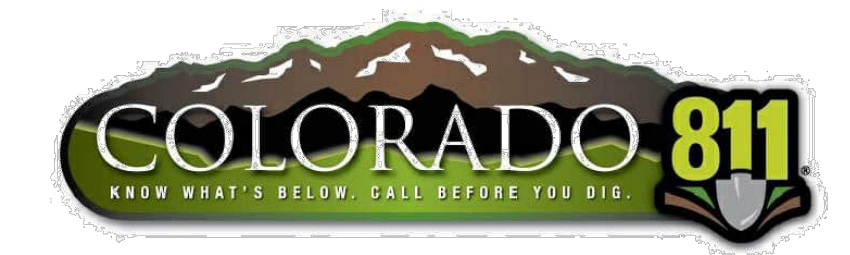
PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

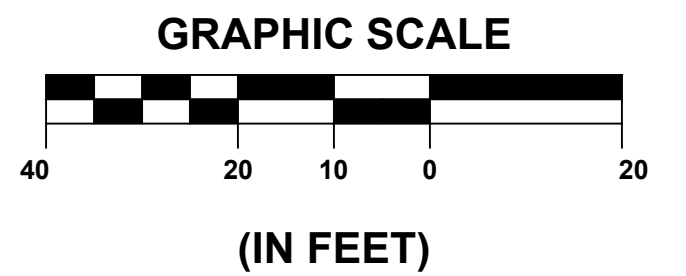
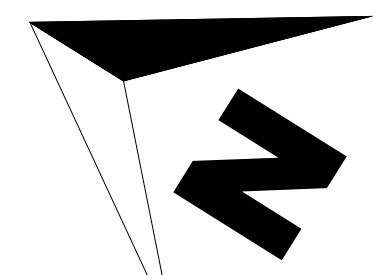
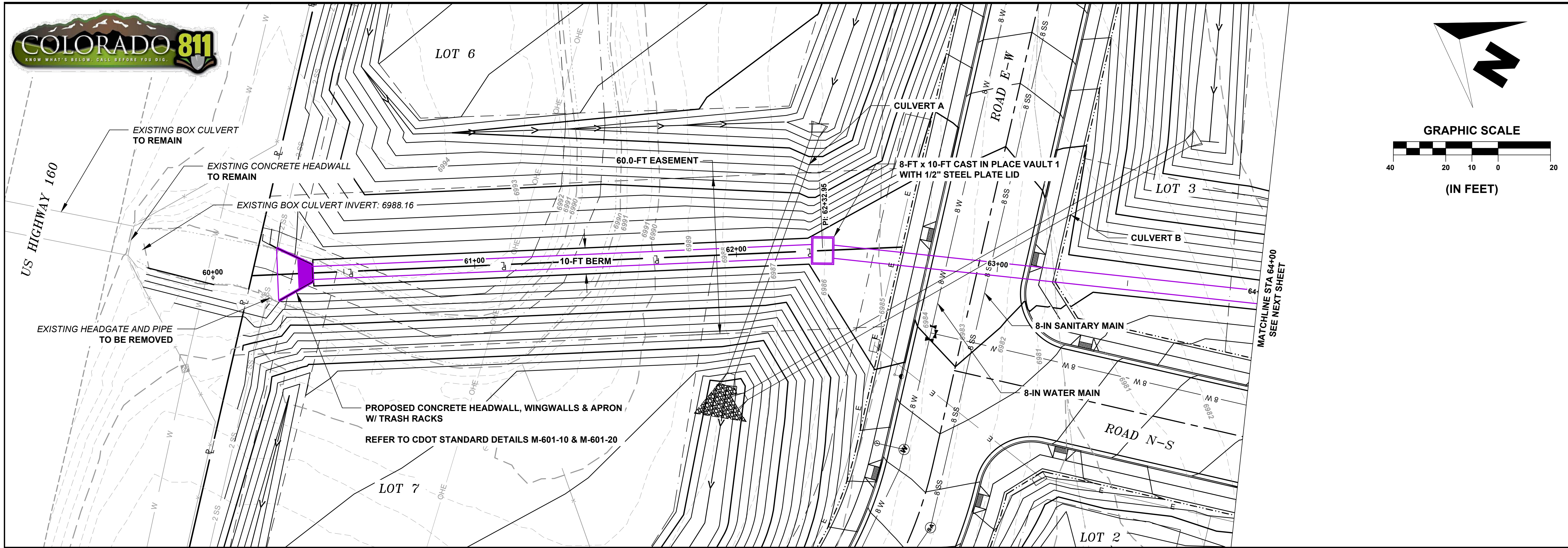
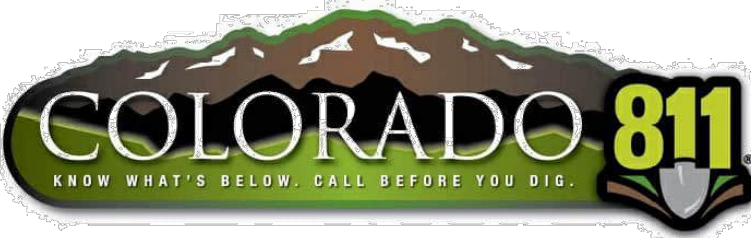
HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
STORM X P-PRO

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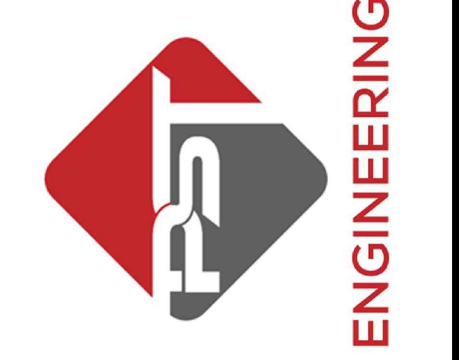
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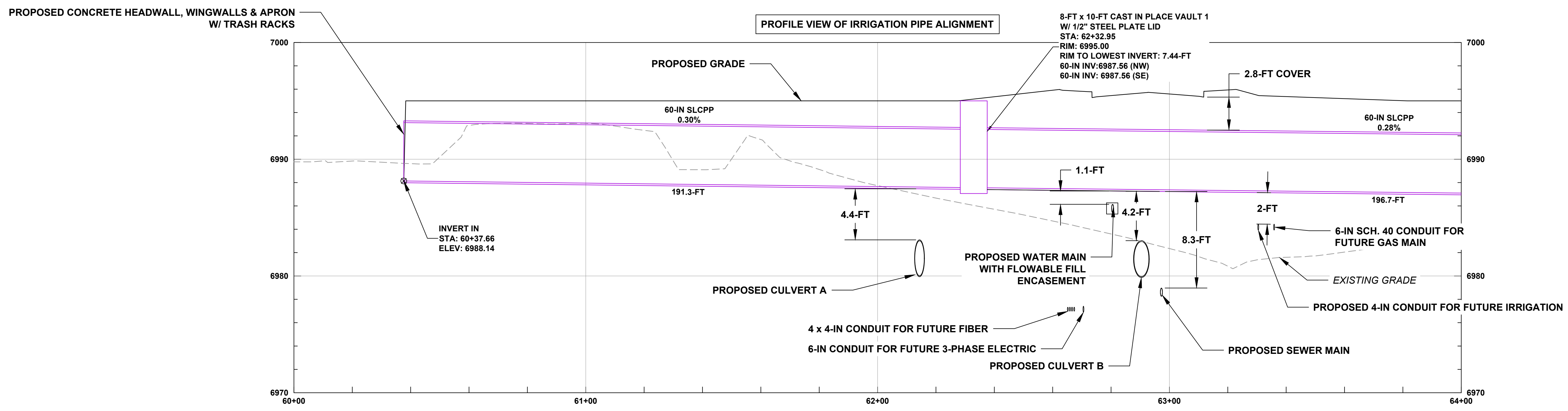
PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492



HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
PIPED IRRIGATION P-PRO
STA 60+00 - 64+00

- NOTES:**
1. THE PROJECT CONTRACTOR, CRG CONSTRUCTION HAS RECENTLY CONSTRUCTED SEVERAL VAULTS AND A TRASH RACK ON THE SCHRODER DITCH FOR THE CLOVER MEADOWS DEVELOPMENT. VAULT AND TRASH RACK CONSTRUCTION WILL MATCH THOSE USED AT THE CLOVER MEADOWS PROJECT.
 2. CONTRACTOR TO COORDINATE WITH OWNER AND DITCH COMPANY FOR PINE RIVER COMMONS IRRIGATION WATER DISTRIBUTION

PROFILE VERTICAL EXAGGERATION: 4X

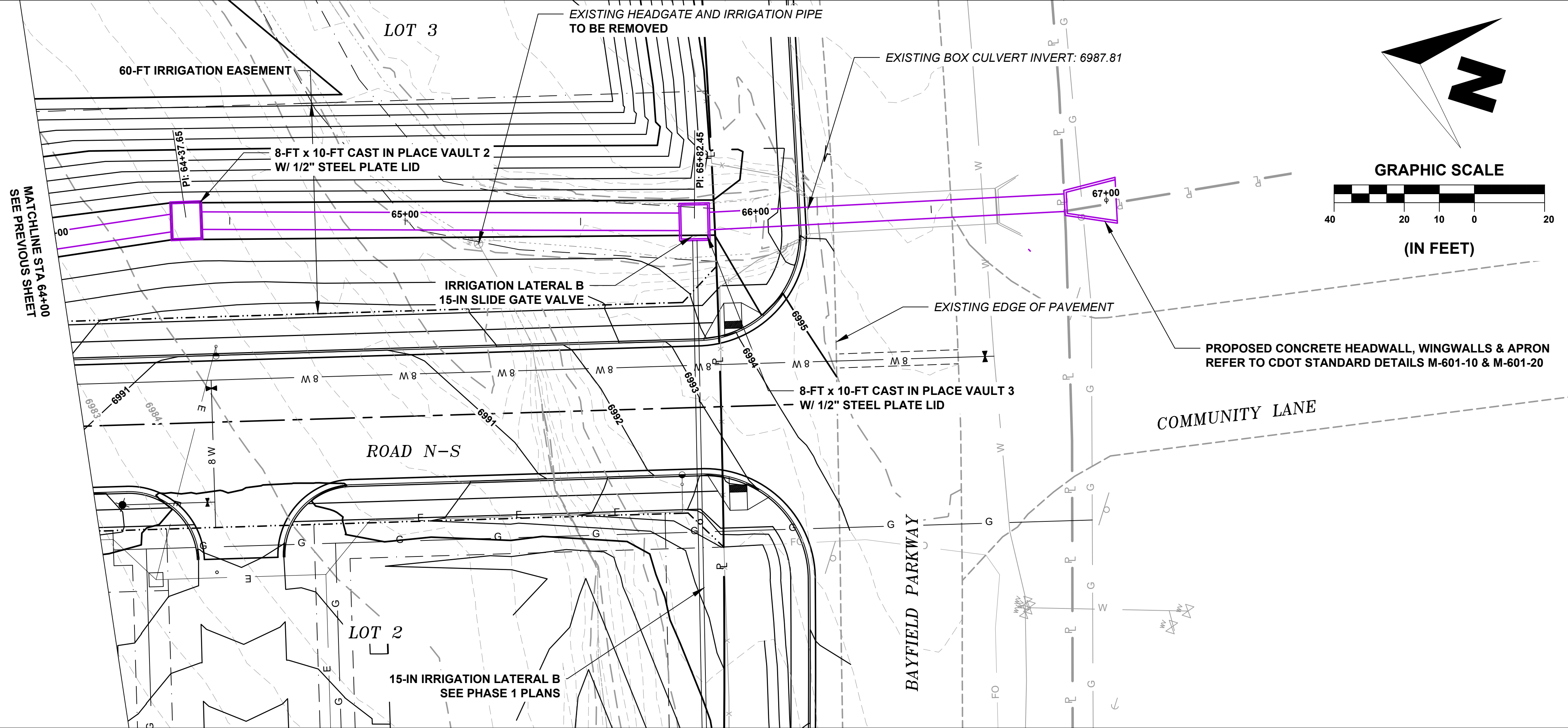
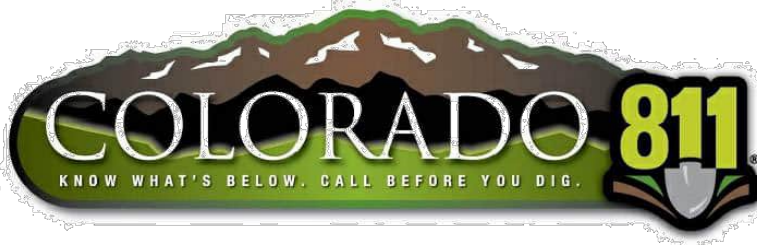


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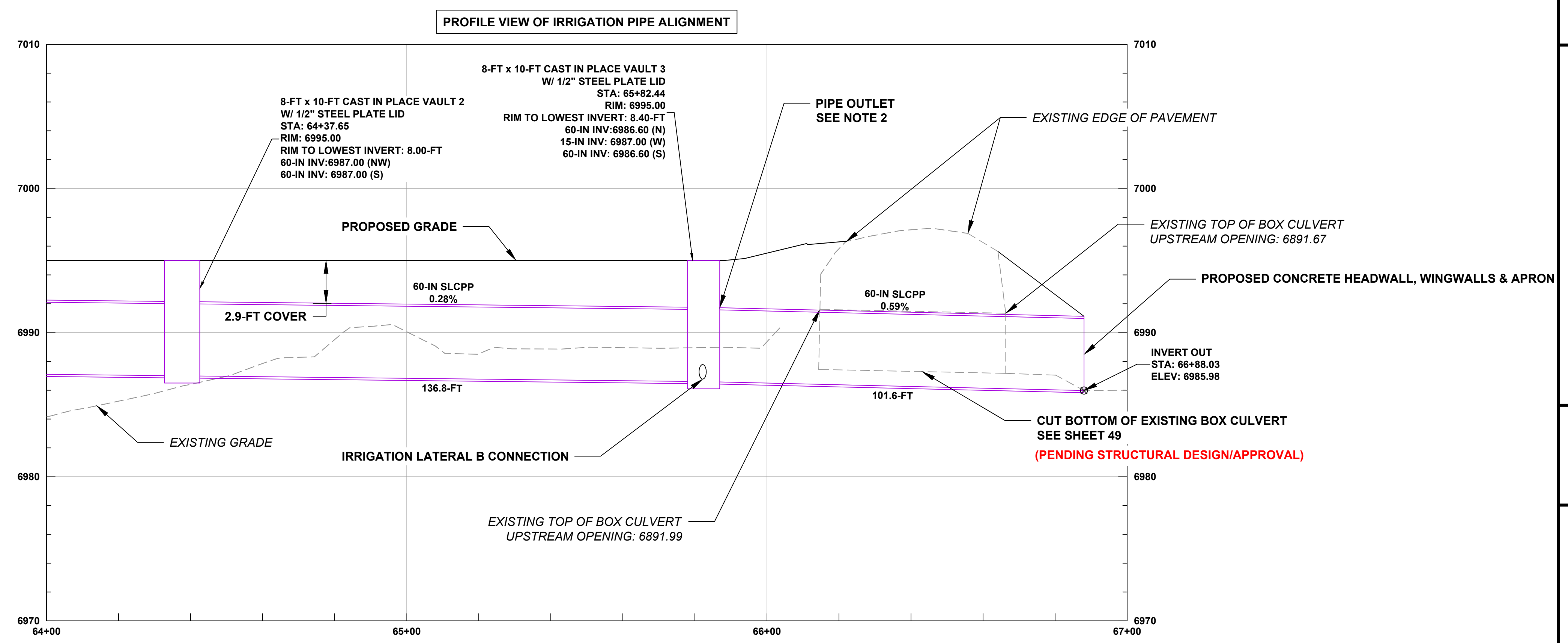
PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

ENGINEERING

HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
PIPED IRRIGATION P-PRO
STA 64+00 - END

- NOTE:
1. THE PROJECT CONTRACTOR, CRG CONSTRUCTION HAS RECENTLY CONSTRUCTED SEVERAL VAULTS AND A TRASH RACK ON THE SCHRODER DITCH FOR THE CLOVER MEADOWS DEVELOPMENT. VAULT AND TRASH RACK CONSTRUCTION WILL MATCH THOSE USED AT THE CLOVER MEADOWS PROJECT.
 2. CONTRACTOR TO COORDINATE WITH DITCH COMPANY ON THE INSTALLATION OF METAL BRACKETS ON THE OUTLET SIDE OF THE BOX TO ALLOW FOR THE TEMPORARY INSTALLATION AND REMOVAL OF CHECK BOARDS TO DIVERT MORE WATER TO LATERAL B DURING LOW FLOWS IN THE SCHRODER DITCH.
 3. CONTRACTOR TO COORDINATE WITH OWNER AND DITCH COMPANY FOR PINE RIVER COMMONS IRRIGATION WATER DISTRIBUTION

PROFILE VERTICAL EXAGGERATION: 4X

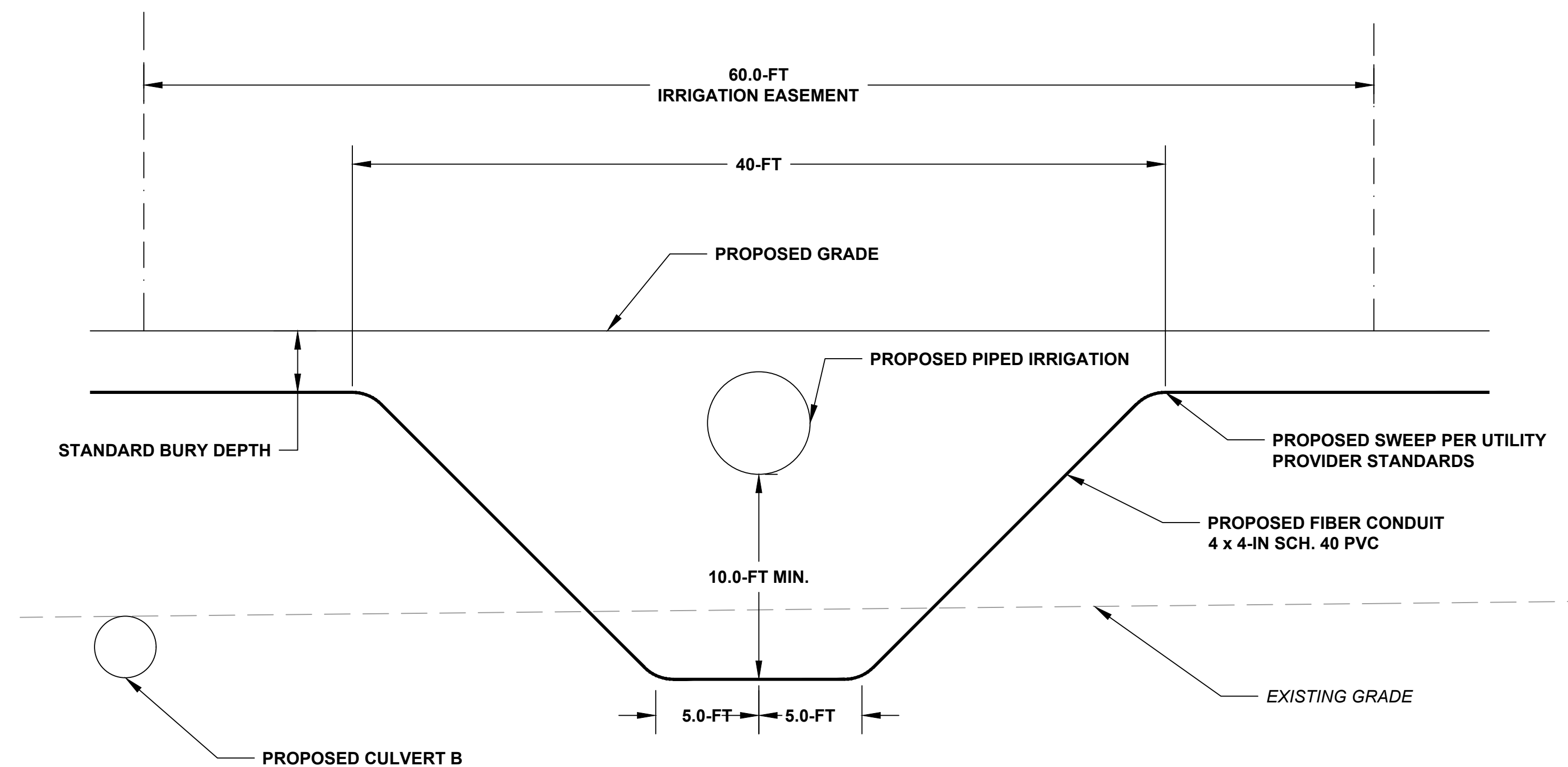
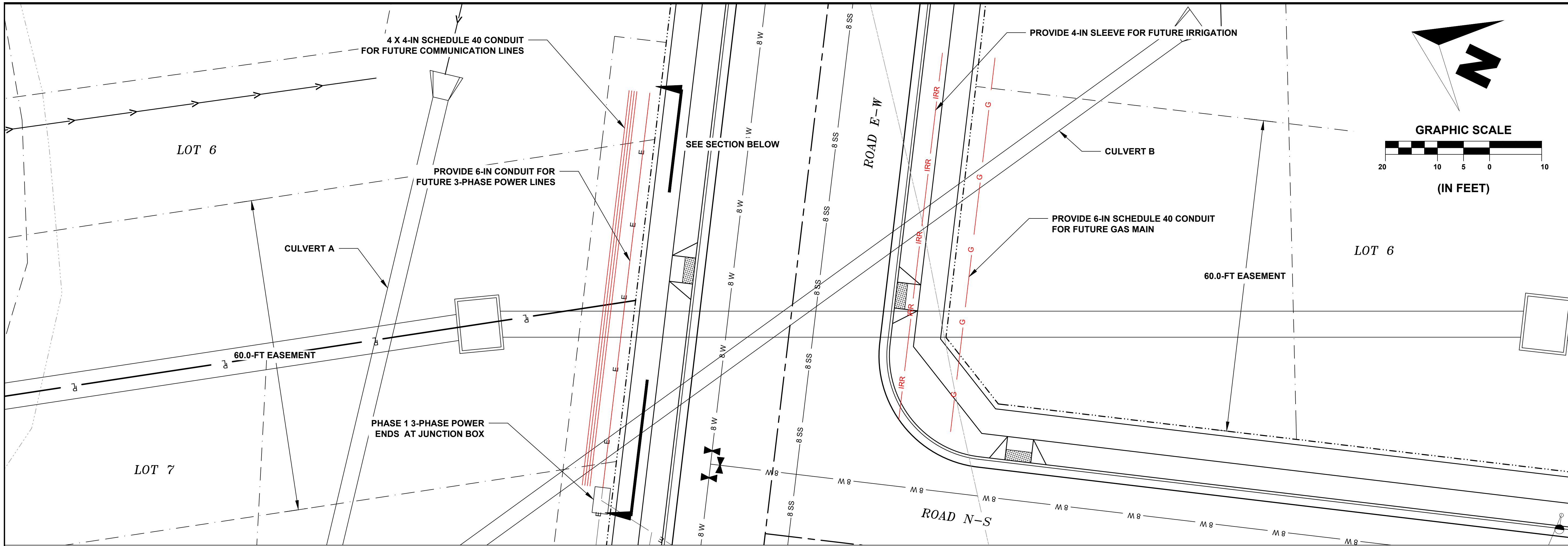


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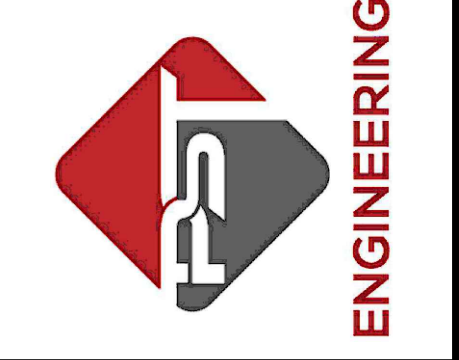




NOTE:
1. EMPTY CONDUIT SLEEVES FOR FUTURE DRY UTILITY INSTALLATION SHOWN IN RED

FIBER CONDUIT CROSSING SECTION
NOT TO SCALE

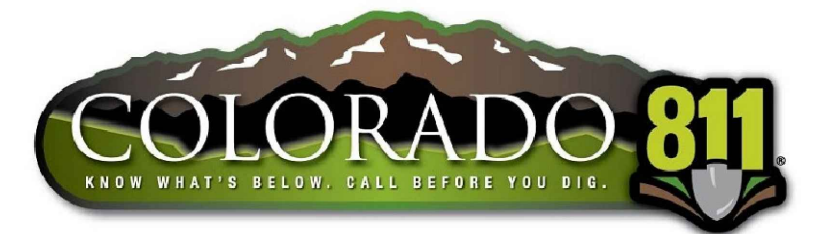
PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492



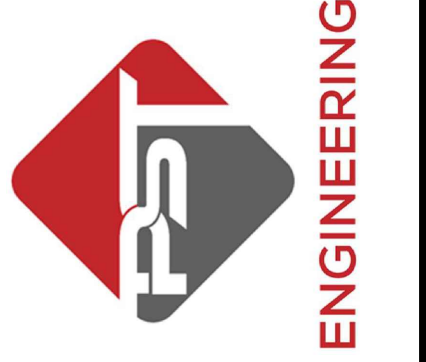
HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
IRRIGATION CROSSING
DETAIL

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2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492



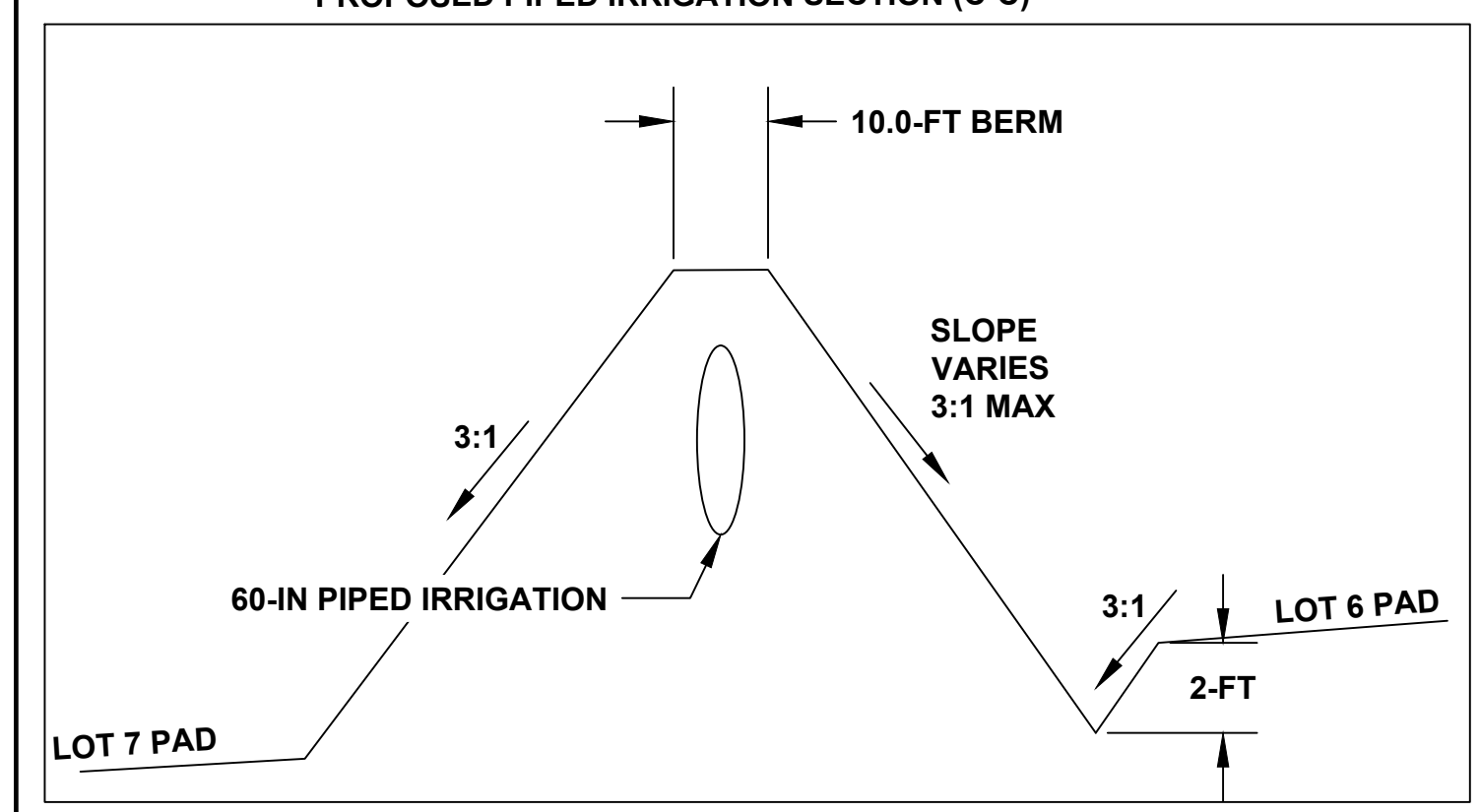
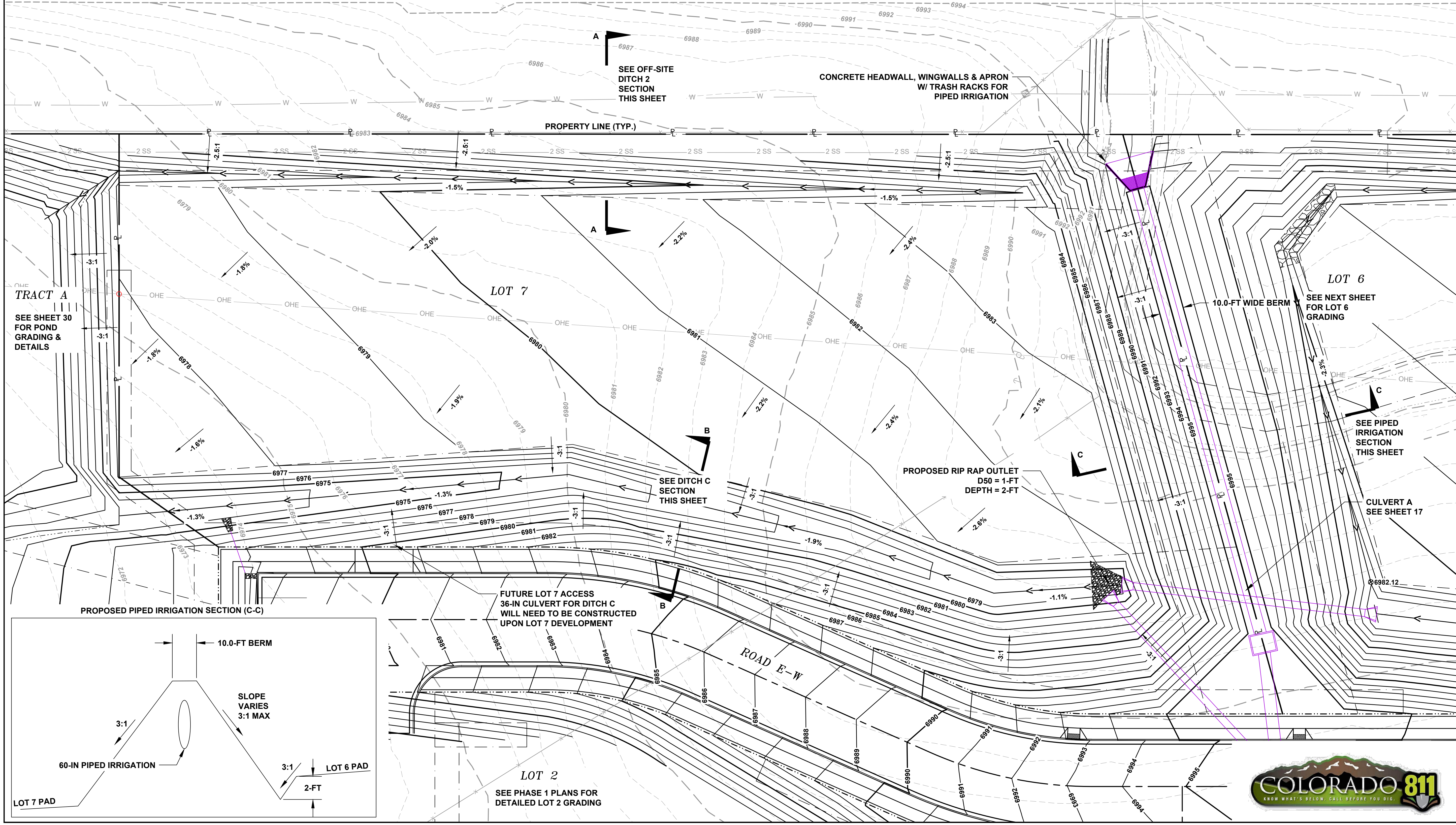
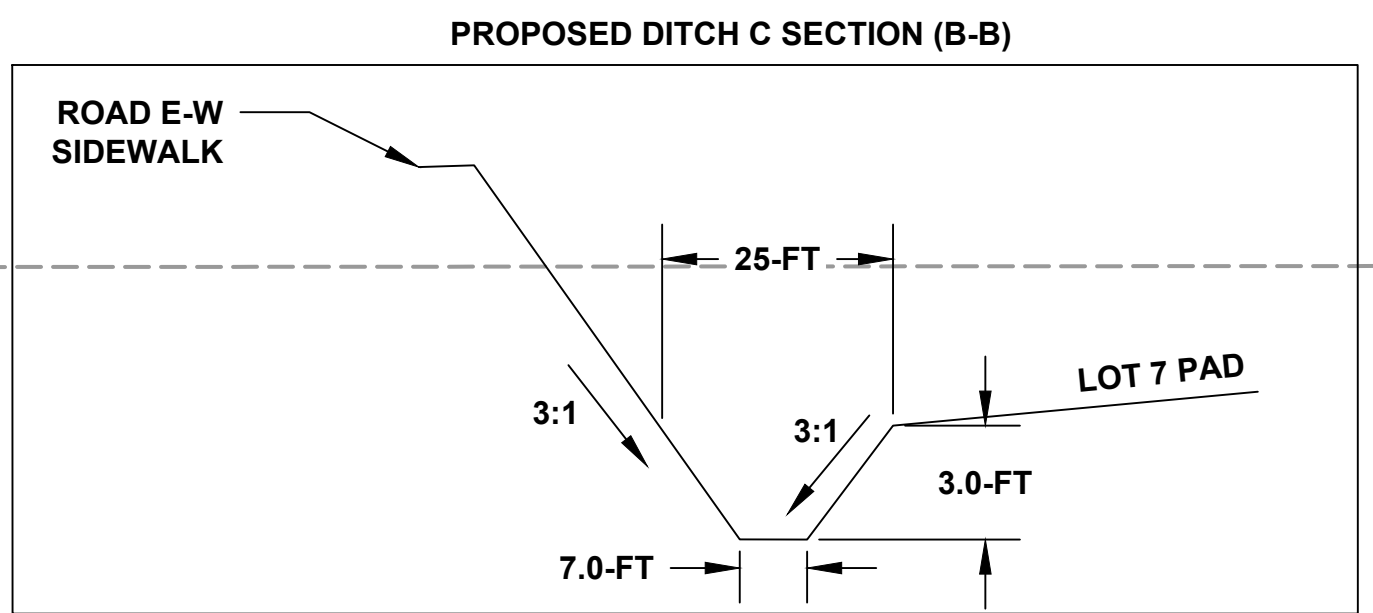
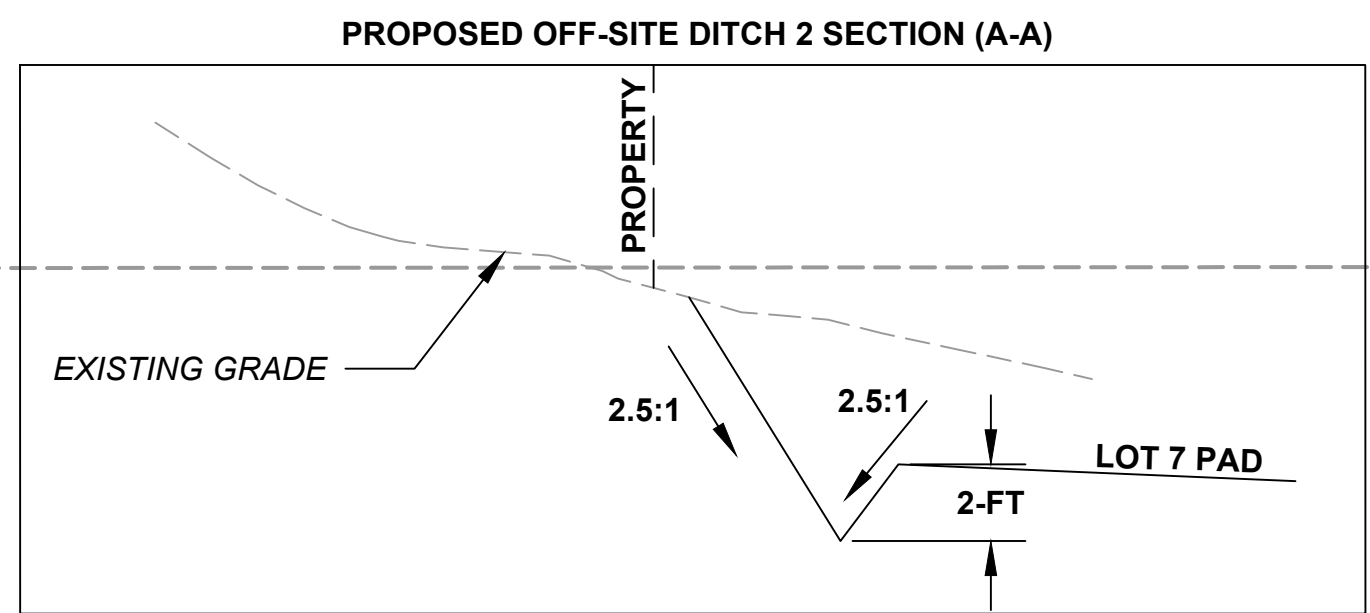
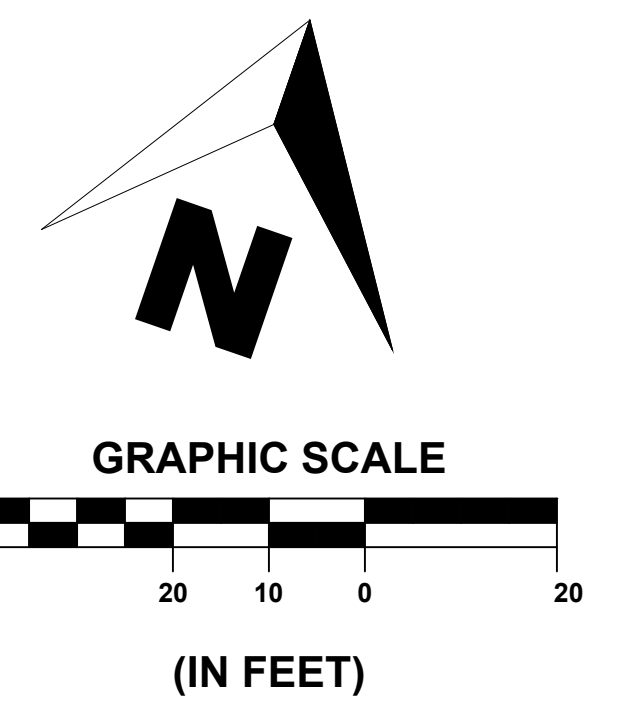
HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
LOT 7 GRADING PLAN

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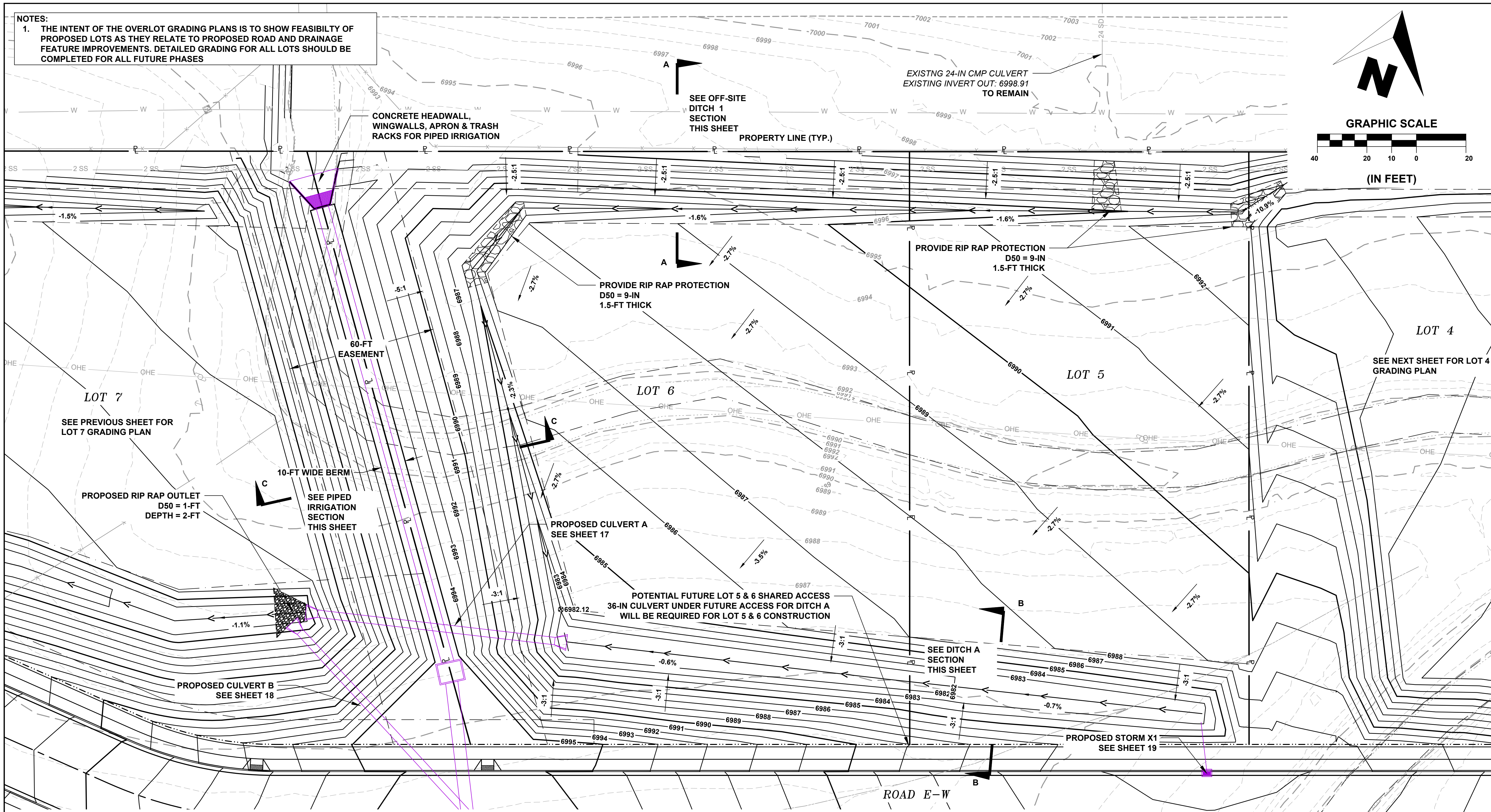
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NOTES:
1. THE INTENT OF THE OVERLOT GRADING PLANS IS TO SHOW FEASIBILITY OF PROPOSED LOTS AS THEY RELATE TO PROPOSED ROAD AND DRAINAGE FEATURE IMPROVEMENTS. DETAILED GRADING FOR ALL LOTS SHOULD BE COMPLETED FOR ALL FUTURE PHASES

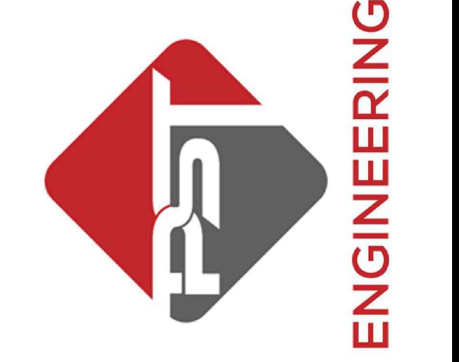


NOTES:
 1. THE INTENT OF THE OVERLOT GRADING PLANS IS TO SHOW FEASIBILITY OF PROPOSED LOTS AS THEY RELATE TO PROPOSED ROAD AND DRAINAGE FEATURE IMPROVEMENTS. DETAILED GRADING FOR ALL LOTS SHOULD BE COMPLETED FOR ALL FUTURE PHASES



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PST ENGINEERING, LLC
 2615 MAIN AVE. SUITE 209
 DURANGO, CO 81301
 970-403-5492

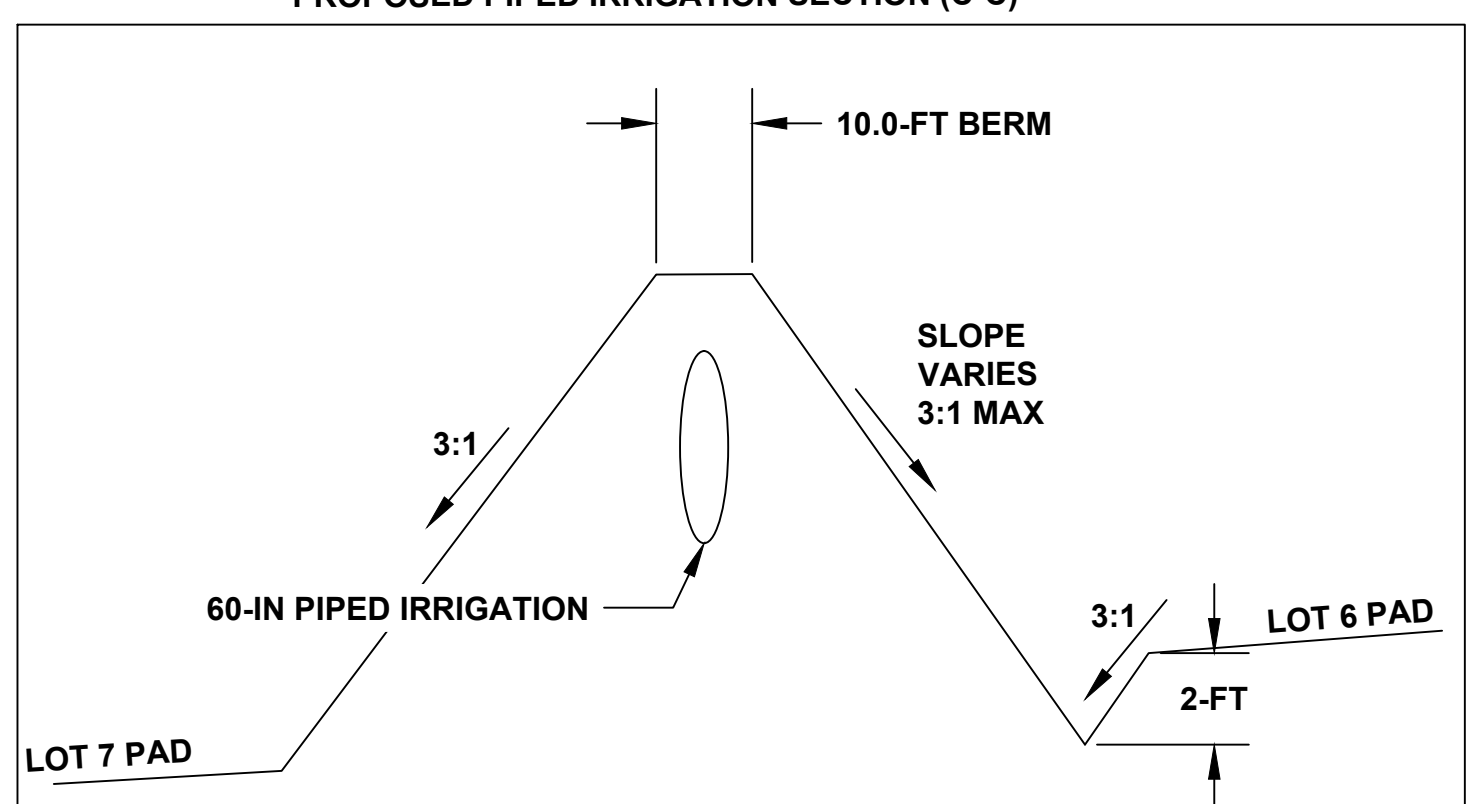
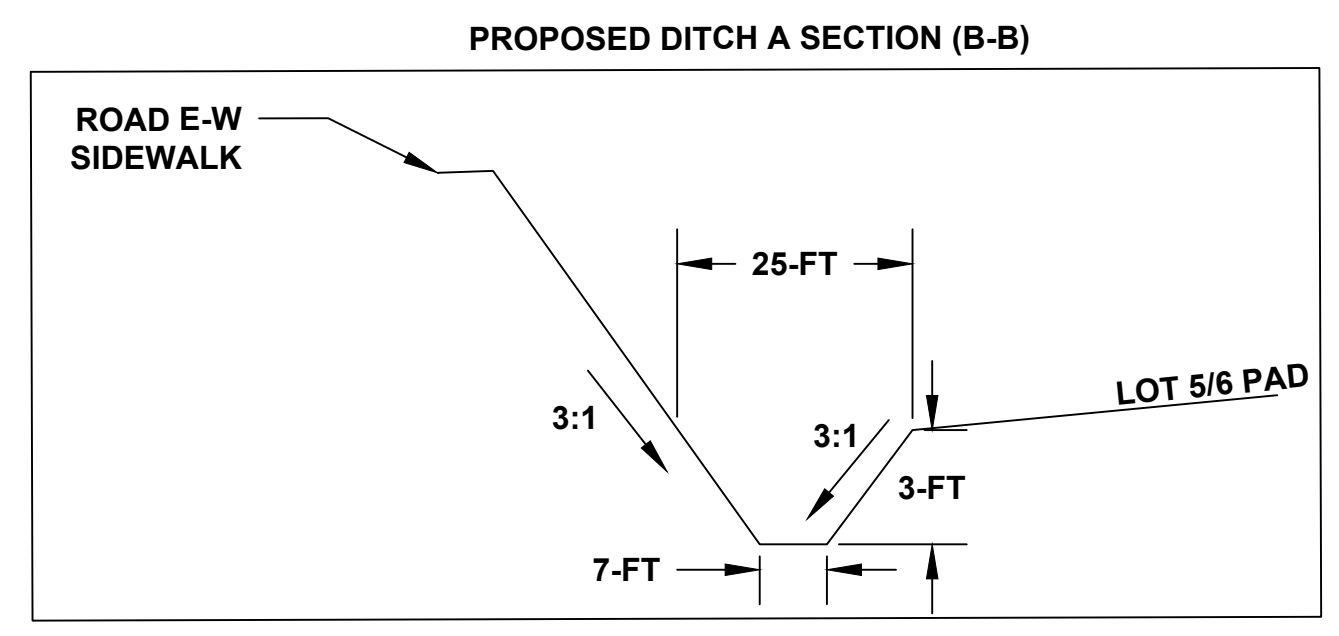
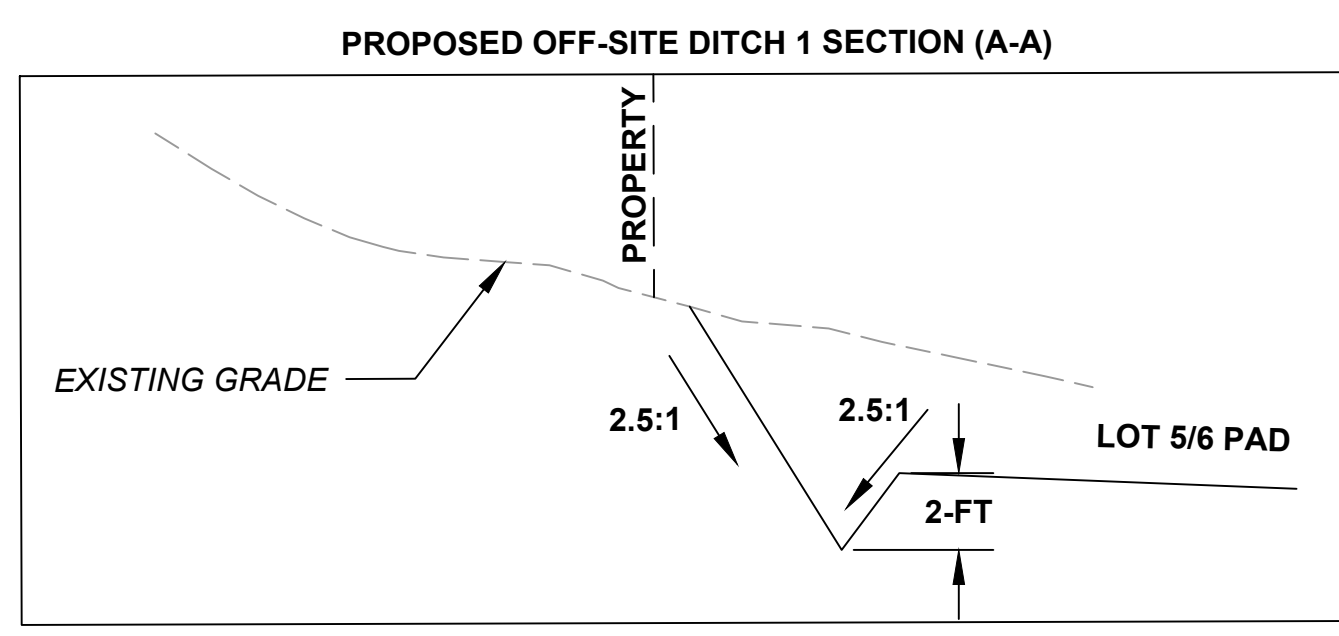


**HAGA PROPERTY
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 2107 BAYFIELD PARKWAY
 BAYFIELD, CO 81122
 LOT 5-6 GRADING PLAN**

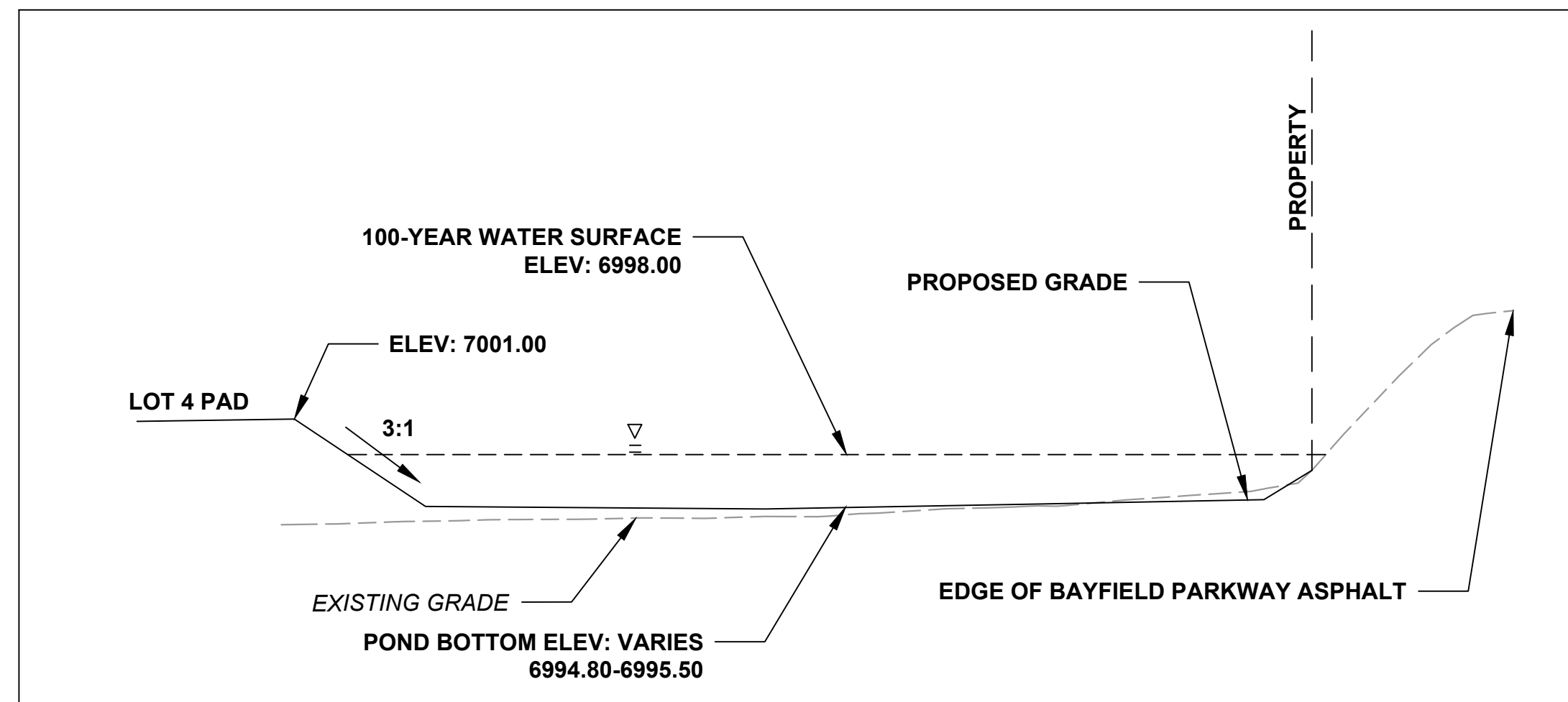
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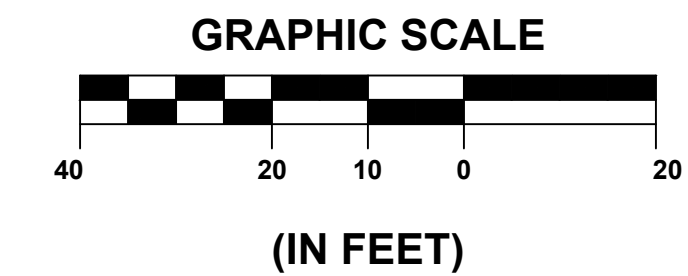
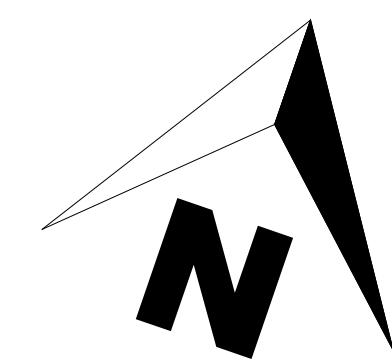
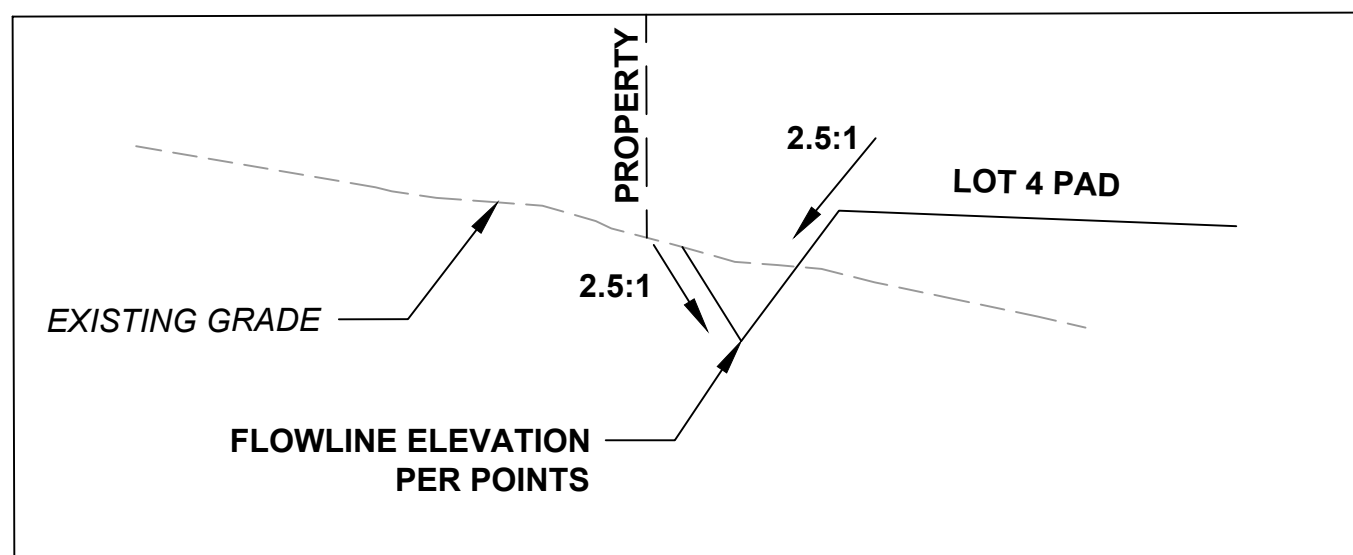
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PROPOSED LOT 4 POND SECTION (B-B)

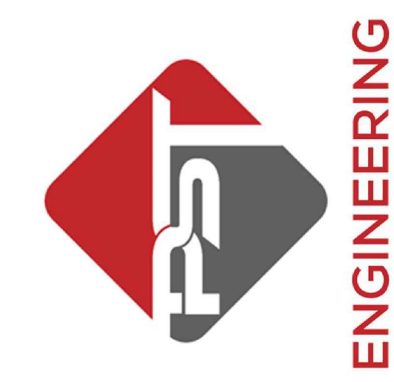


PROPOSED OFF-SITE DITCH 1 SECTION (A-A)



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25 OF 49

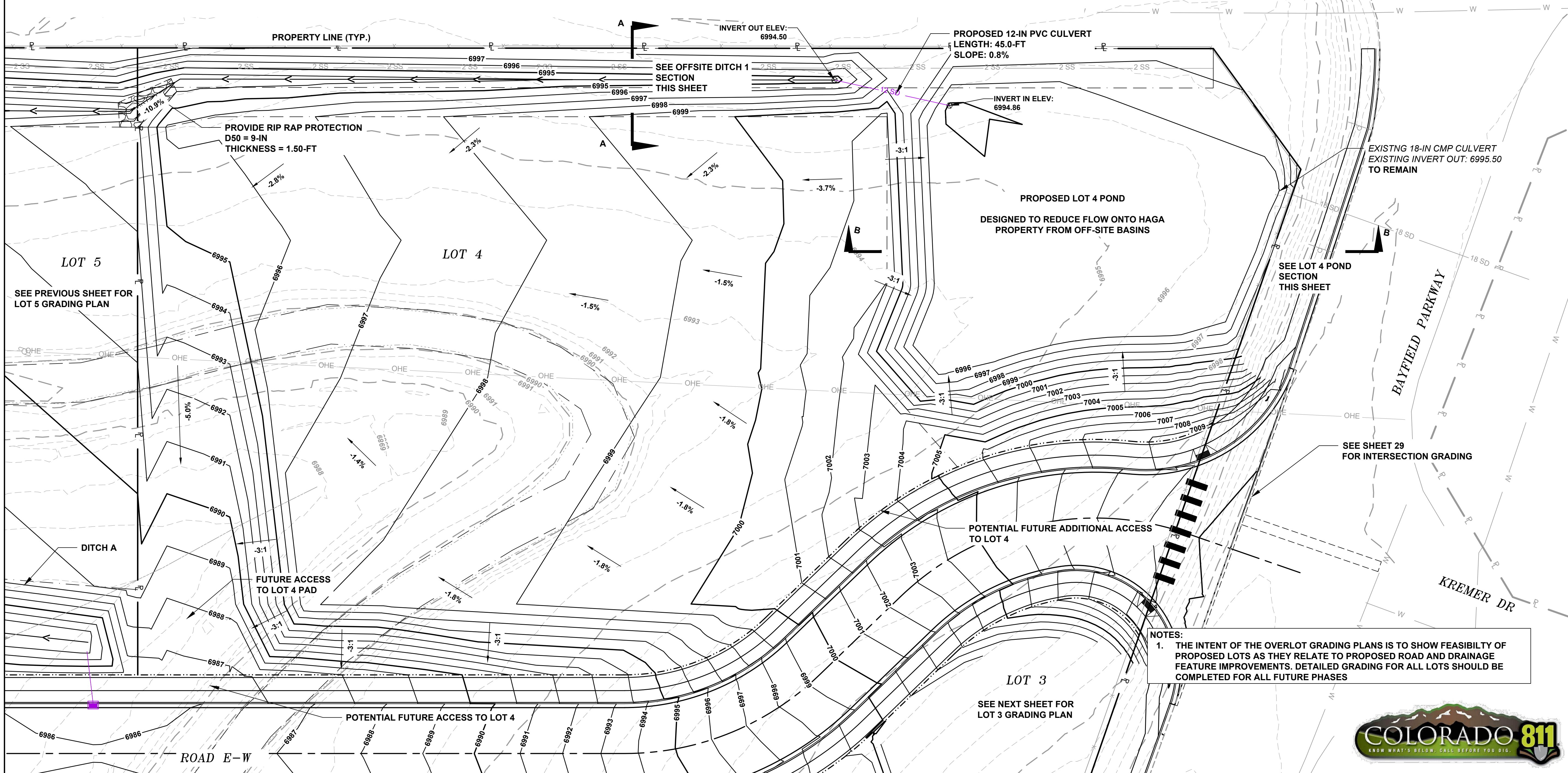
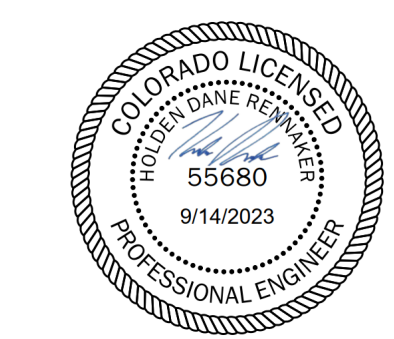
PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492



HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
LOT 4 GRADING PLAN

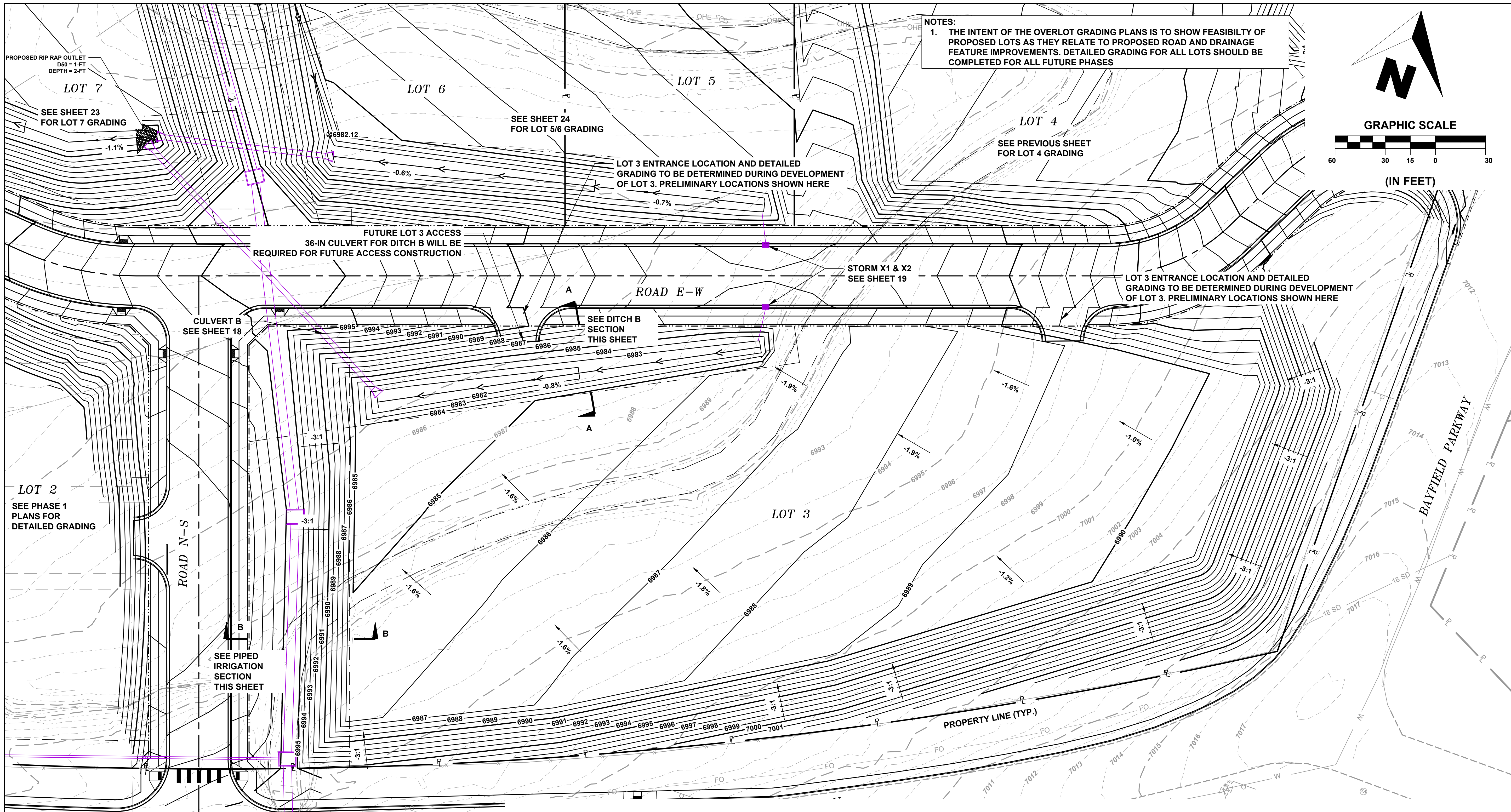
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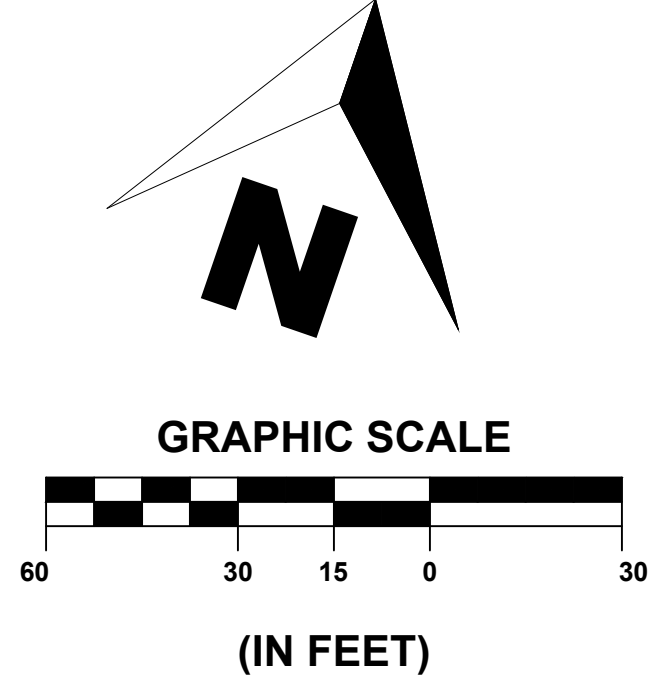


NOTES:
1. THE INTENT OF THE OVERLOT GRADING PLANS IS TO SHOW FEASIBILITY OF PROPOSED LOTS AS THEY RELATE TO PROPOSED ROAD AND DRAINAGE FEATURE IMPROVEMENTS. DETAILED GRADING FOR ALL LOTS SHOULD BE COMPLETED FOR ALL FUTURE PHASES



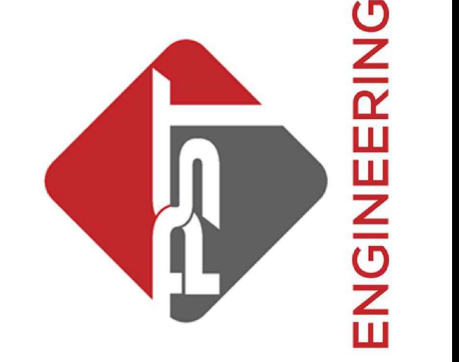


NOTES:
 1. THE INTENT OF THE OVERLOT GRADING PLANS IS TO SHOW FEASIBILITY OF PROPOSED LOTS AS THEY RELATE TO PROPOSED ROAD AND DRAINAGE FEATURE IMPROVEMENTS. DETAILED GRADING FOR ALL LOTS SHOULD BE COMPLETED FOR ALL FUTURE PHASES



SHEET
 26 OF 49

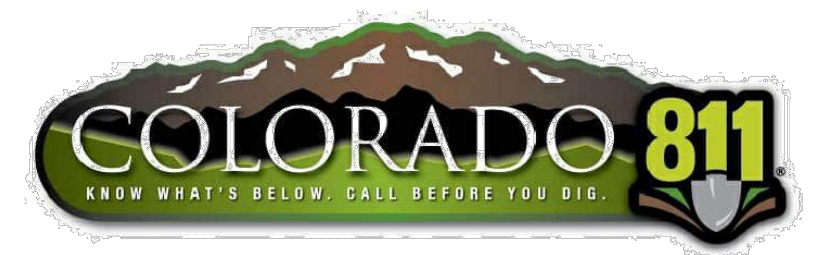
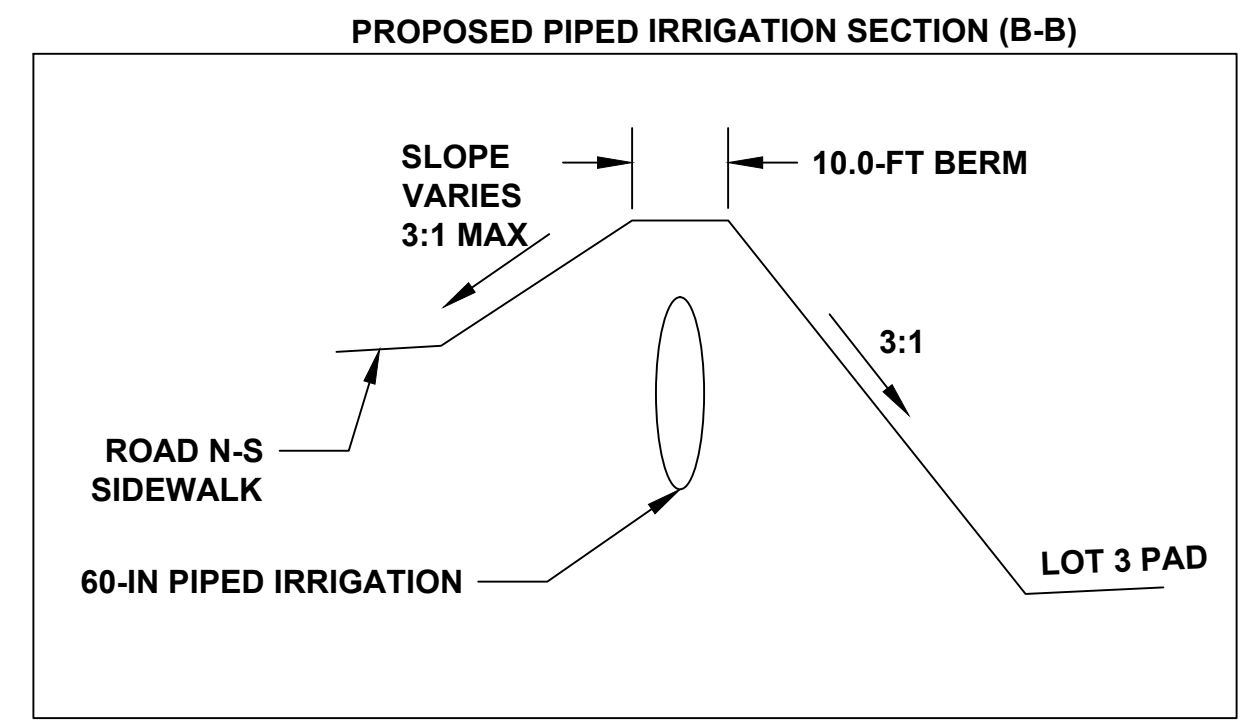
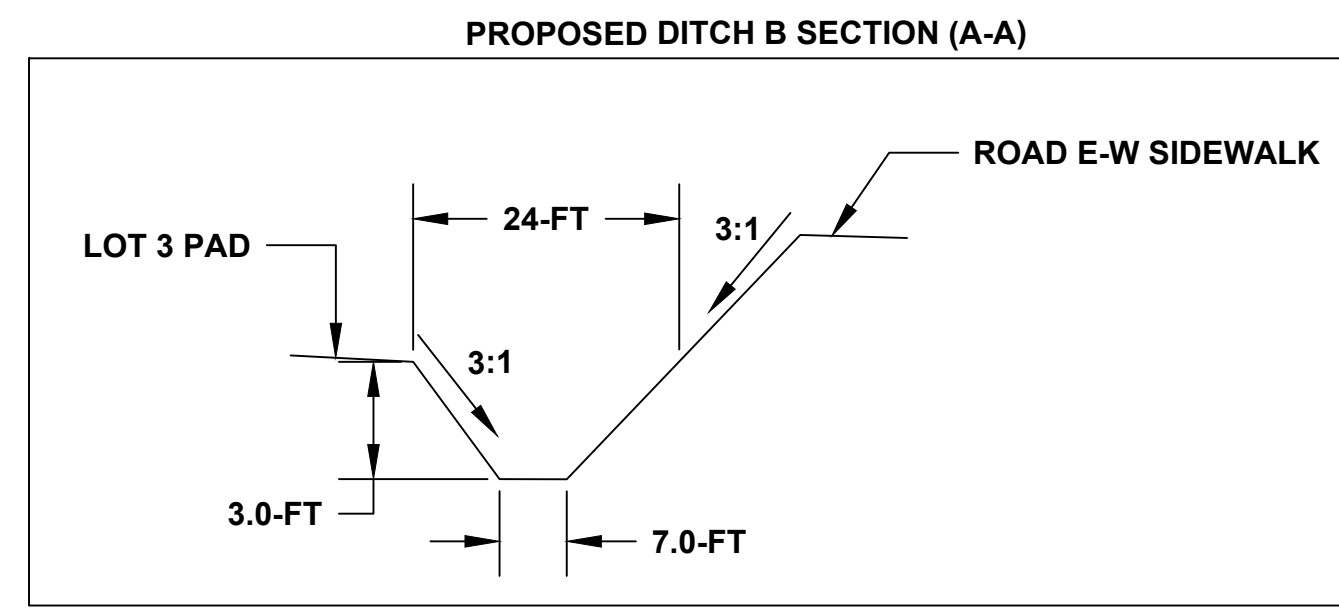
PST ENGINEERING, LLC
 2615 MAIN AVE. SUITE 209
 DURANGO, CO 81301
 970-403-5492



HAGA PROPERTY
 MASTER PLAN
 2107 BAYFIELD PARKWAY
 BAYFIELD, CO 81122
 LOT 3 GRADING PLAN

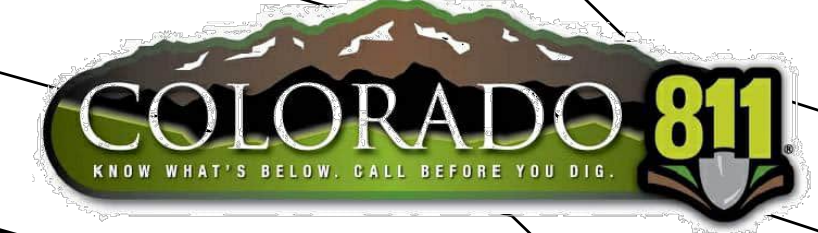
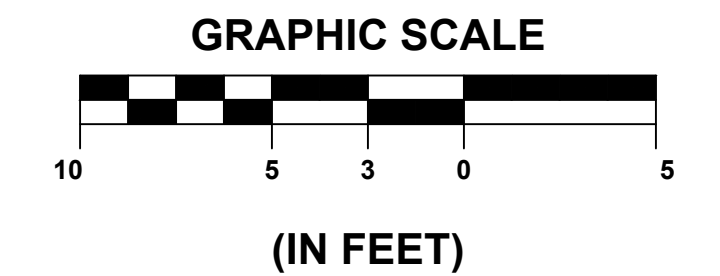
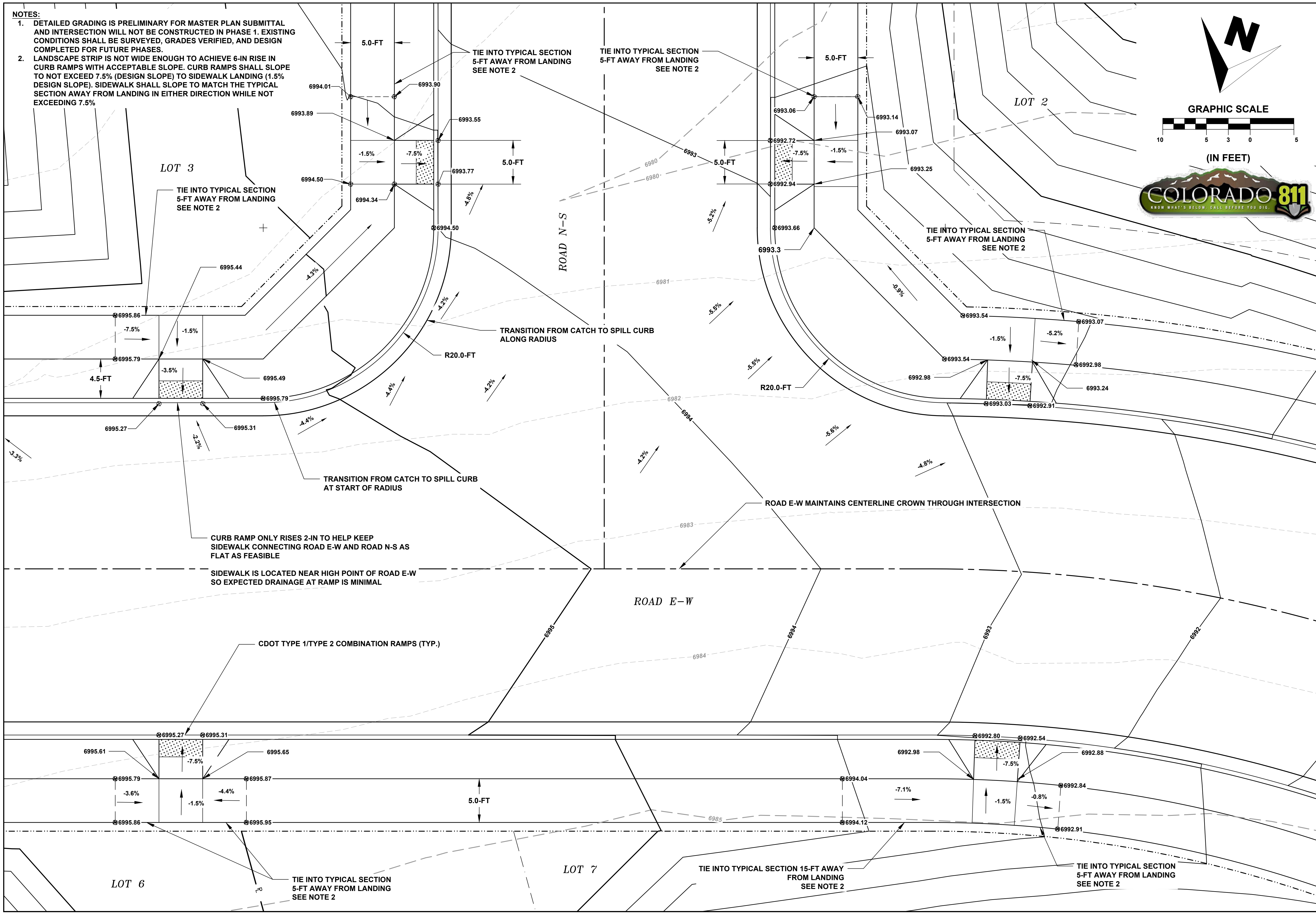
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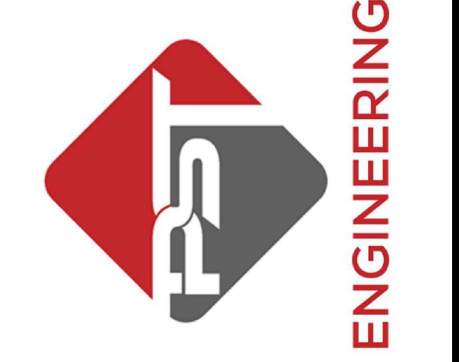
NOTES:

1. DETAILED GRADING IS PRELIMINARY FOR MASTER PLAN SUBMITTAL AND INTERSECTION WILL NOT BE CONSTRUCTED IN PHASE 1. EXISTING CONDITIONS SHALL BE SURVEYED, GRADES VERIFIED, AND DESIGN COMPLETED FOR FUTURE PHASES.
2. LANDSCAPE STRIP IS NOT WIDE ENOUGH TO ACHIEVE 6-IN RISE IN CURB RAMPS WITH ACCEPTABLE SLOPE. CURB RAMPS SHALL SLOPE TO NOT EXCEED 7.5% (DESIGN SLOPE) TO SIDEWALK LANDING (1.5% DESIGN SLOPE). SIDEWALK SHALL SLOPE TO MATCH THE TYPICAL SECTION AWAY FROM LANDING IN EITHER DIRECTION WHILE NOT EXCEEDING 7.5%



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27 OF **49**

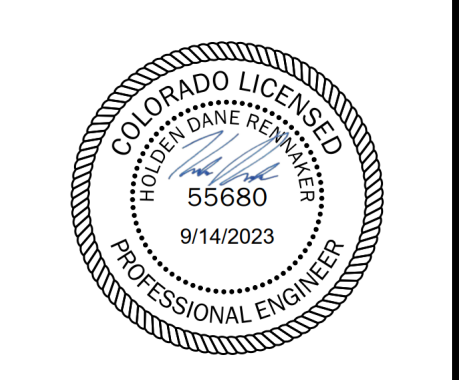
PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492



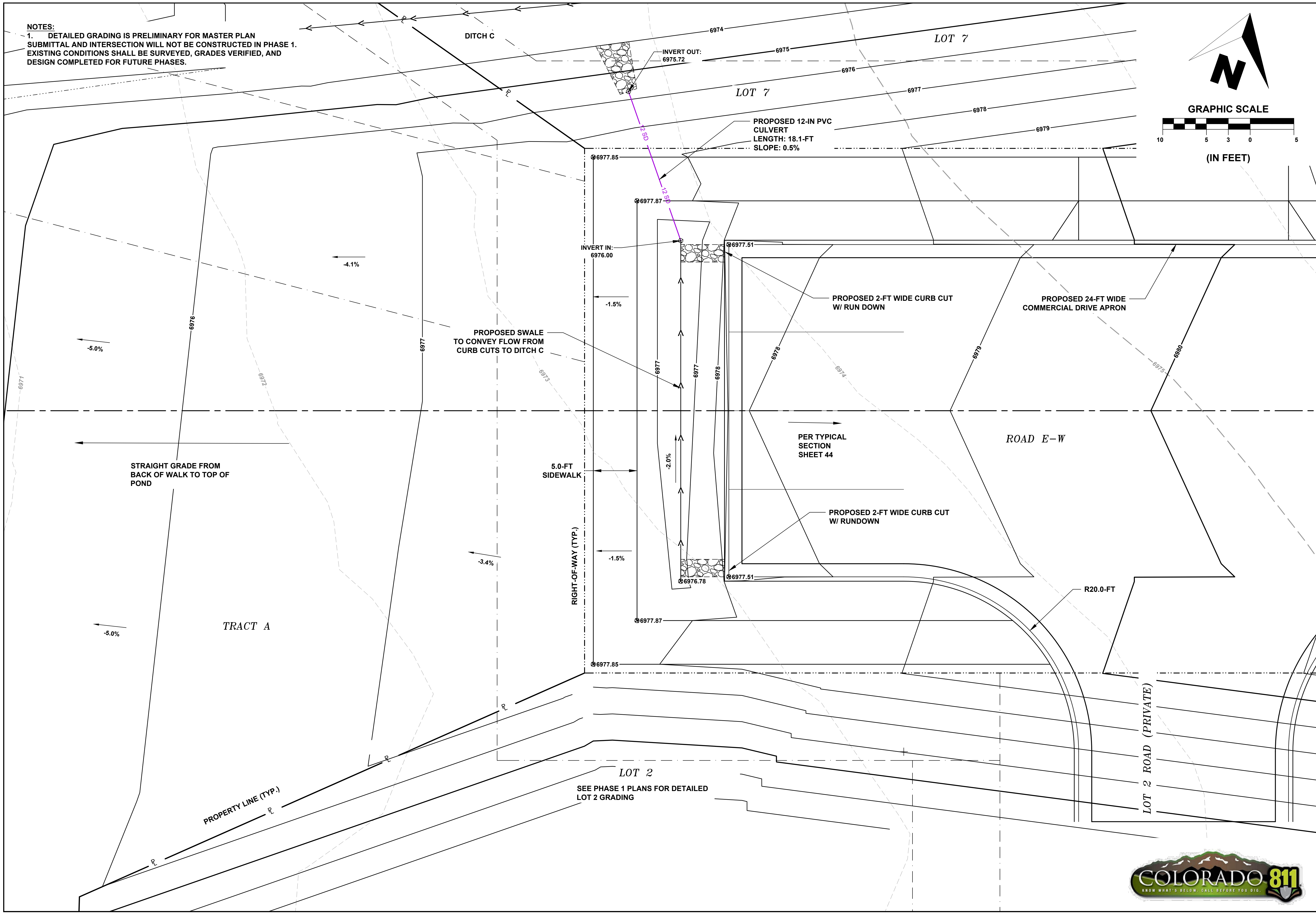
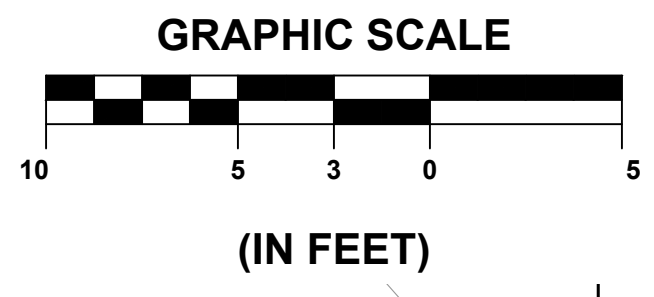
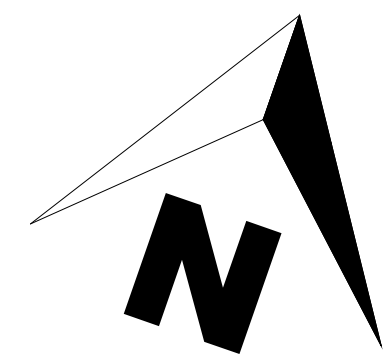
**HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
TOWN ROAD INTERSECTION
GRADING PLAN**

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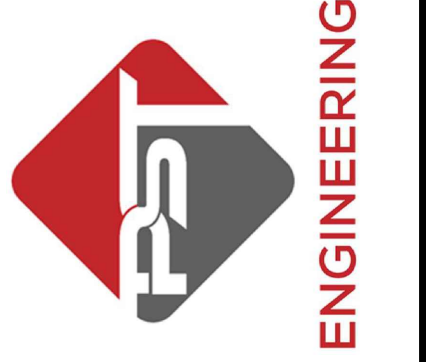


NOTES:
 1. DETAILED GRADING IS PRELIMINARY FOR MASTER PLAN SUBMITTAL AND INTERSECTION WILL NOT BE CONSTRUCTED IN PHASE 1. EXISTING CONDITIONS SHALL BE SURVEYED, GRADES VERIFIED, AND DESIGN COMPLETED FOR FUTURE PHASES.



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 28 OF 49

PST ENGINEERING, LLC
 2615 MAIN AVE, SUITE 209
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 970-403-5492



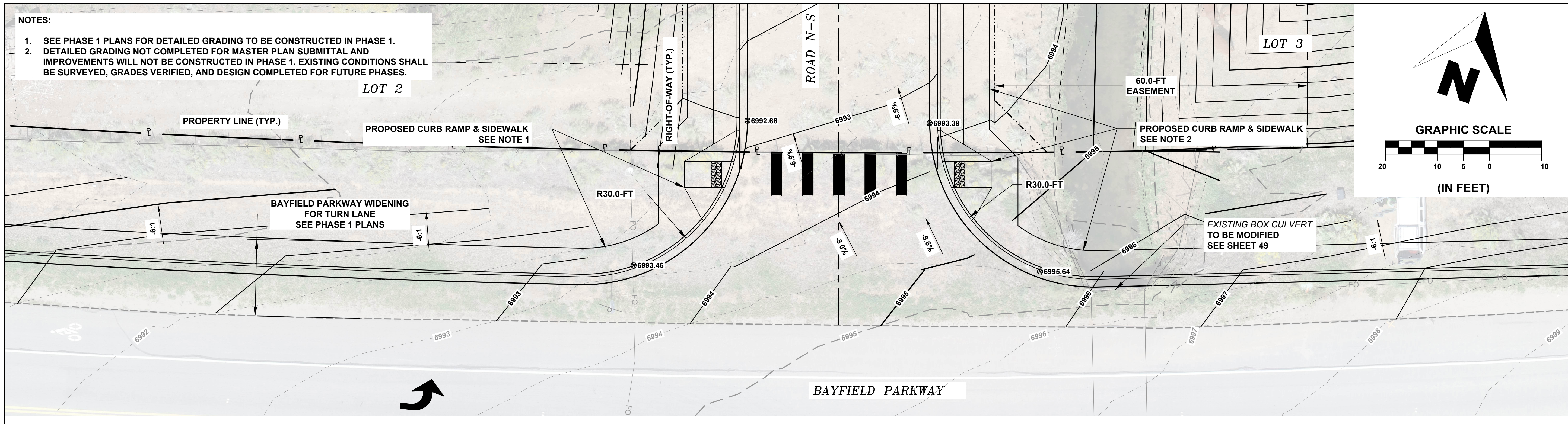
HAGA PROPERTY
 MASTER PLAN
 2107 BAYFIELD PARKWAY
 BAYFIELD, CO 81122
 WEST END OF ROAD E-W
 GRADING PLAN

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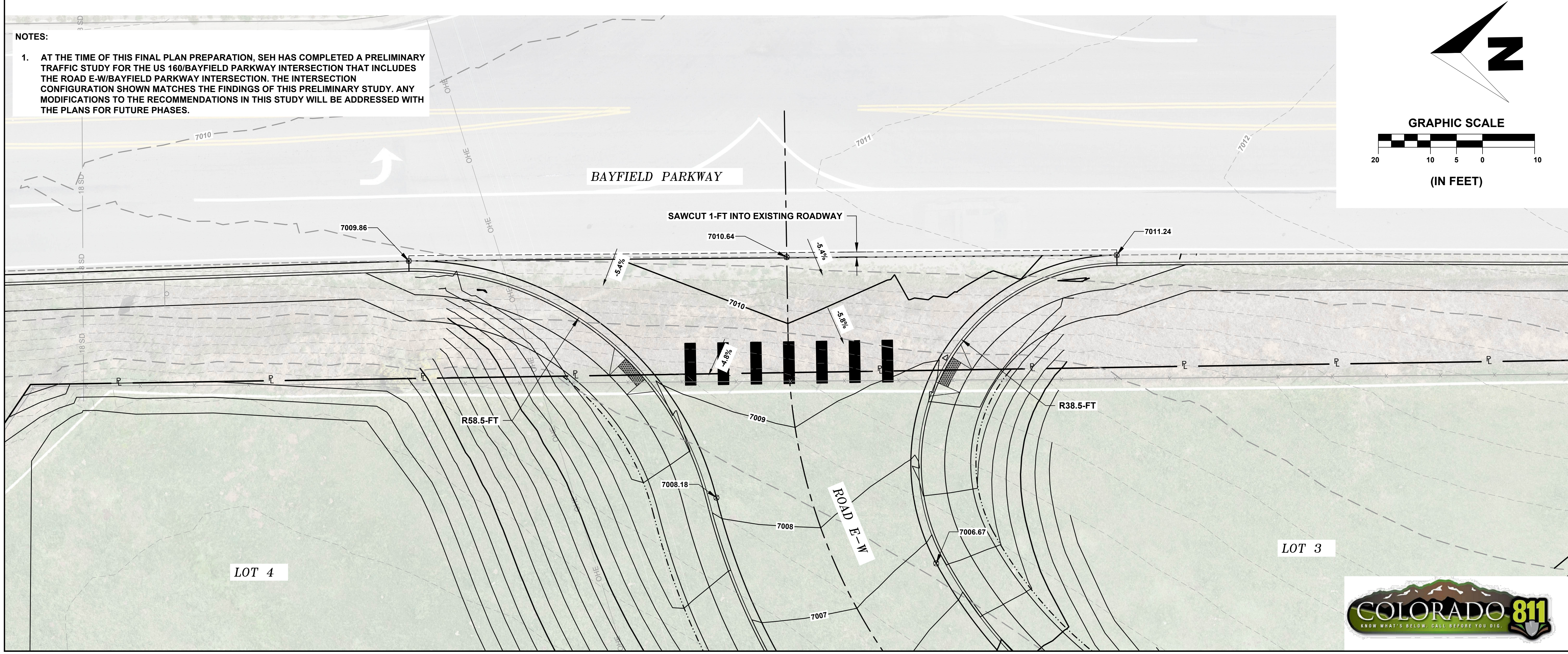
DATE: 09/14/2023
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 CHECKED BY: SP



- NOTES:
- SEE PHASE 1 PLANS FOR DETAILED GRADING TO BE CONSTRUCTED IN PHASE 1.
 - DETAILED GRADING NOT COMPLETED FOR MASTER PLAN SUBMITTAL AND IMPROVEMENTS WILL NOT BE CONSTRUCTED IN PHASE 1. EXISTING CONDITIONS SHALL BE SURVEYED, GRADES VERIFIED, AND DESIGN COMPLETED FOR FUTURE PHASES.

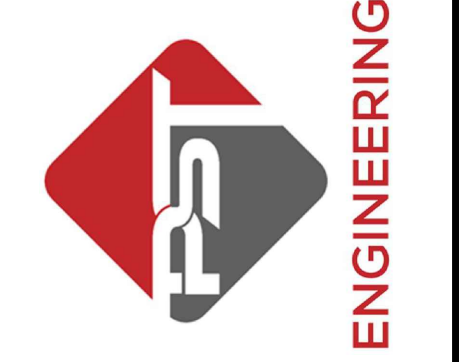


- NOTES:
- AT THE TIME OF THIS FINAL PLAN PREPARATION, SEH HAS COMPLETED A PRELIMINARY TRAFFIC STUDY FOR THE US 160/BAYFIELD PARKWAY INTERSECTION THAT INCLUDES THE ROAD E-W/BAYFIELD PARKWAY INTERSECTION. THE INTERSECTION CONFIGURATION SHOWN MATCHES THE FINDINGS OF THIS PRELIMINARY STUDY. ANY MODIFICATIONS TO THE RECOMMENDATIONS IN THIS STUDY WILL BE ADDRESSED WITH THE PLANS FOR FUTURE PHASES.



SHEET
29 OF 49

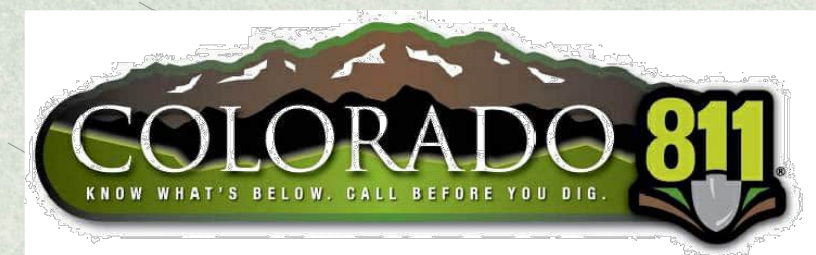
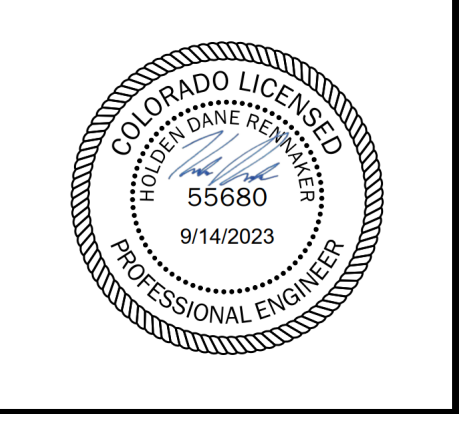
PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

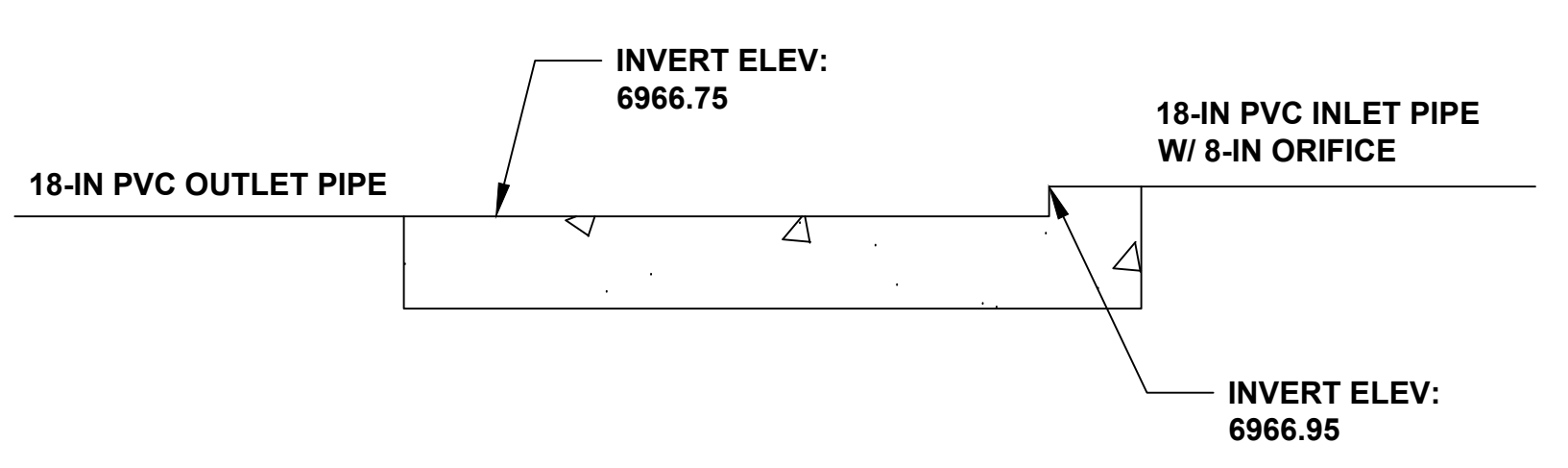
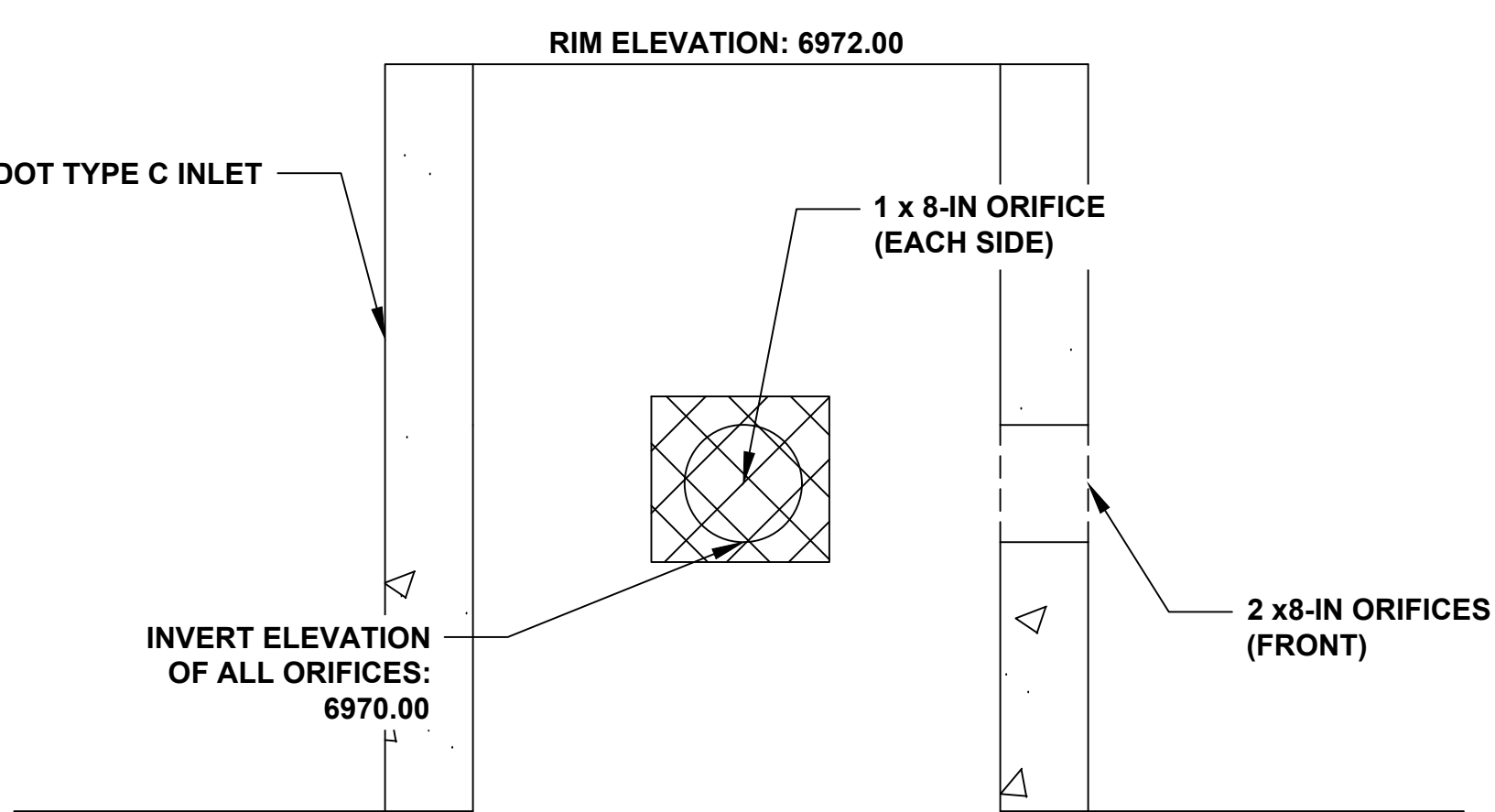
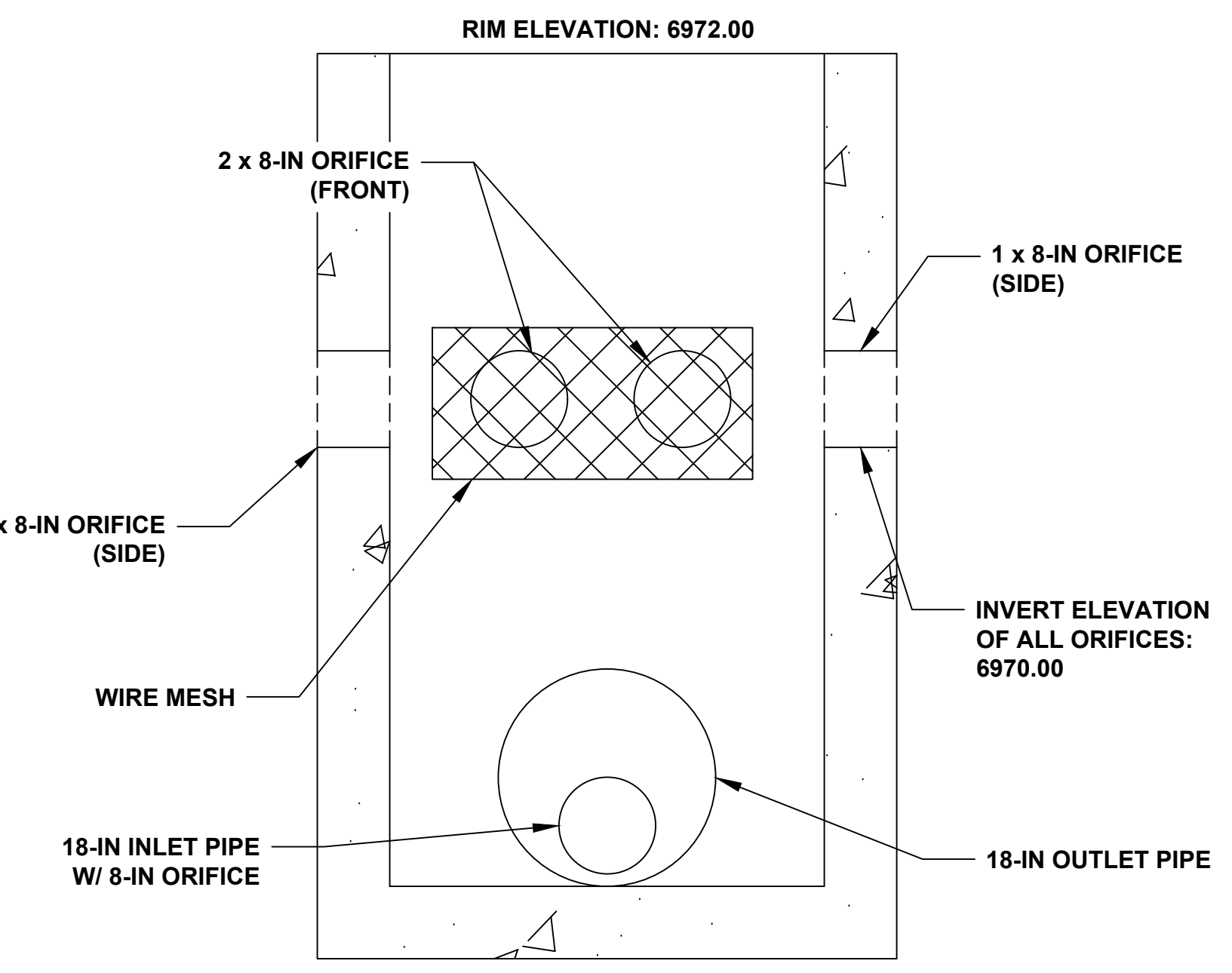
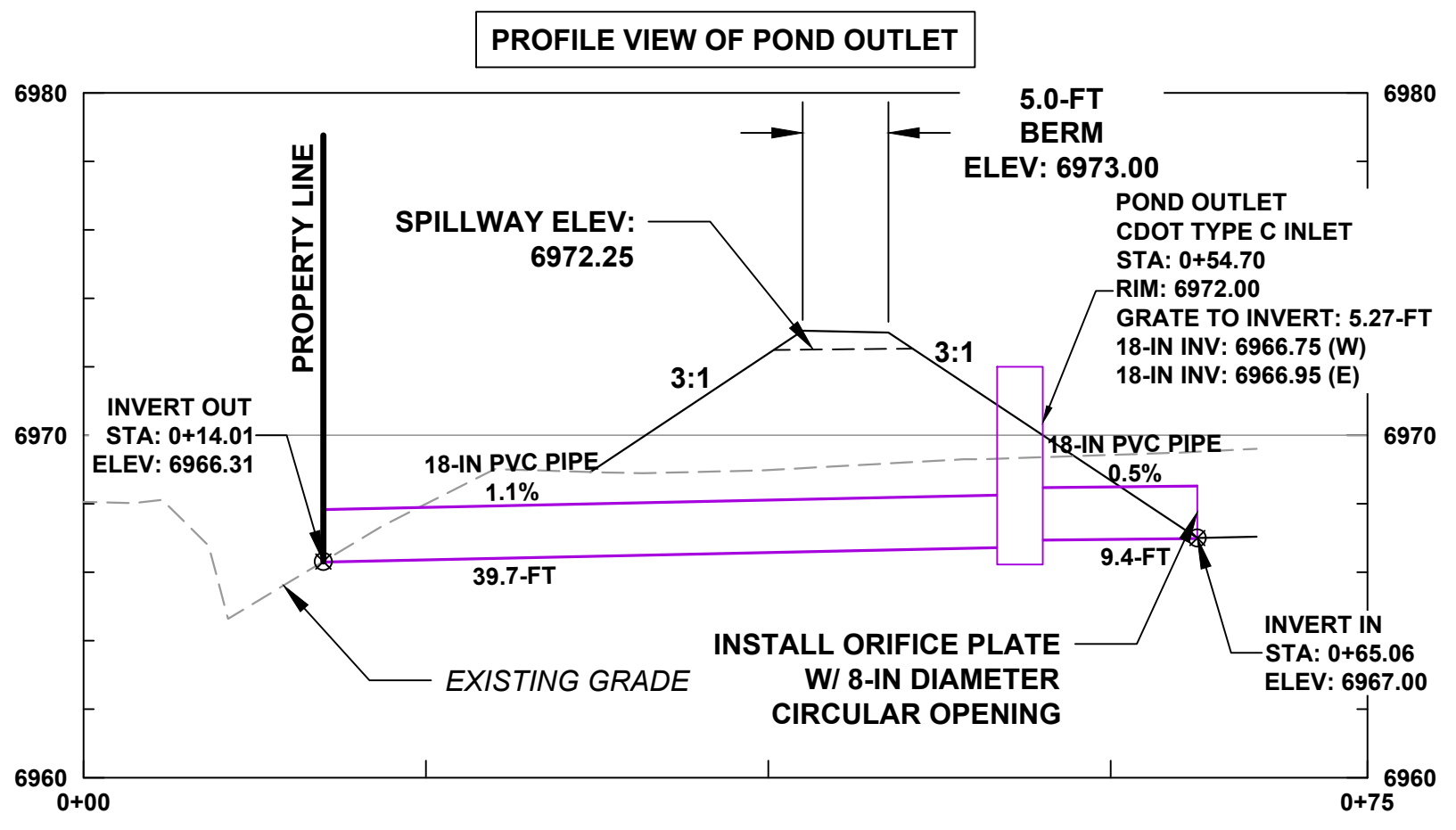


HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
B. PARKWAY INTERSECTION
GRADING PLANS

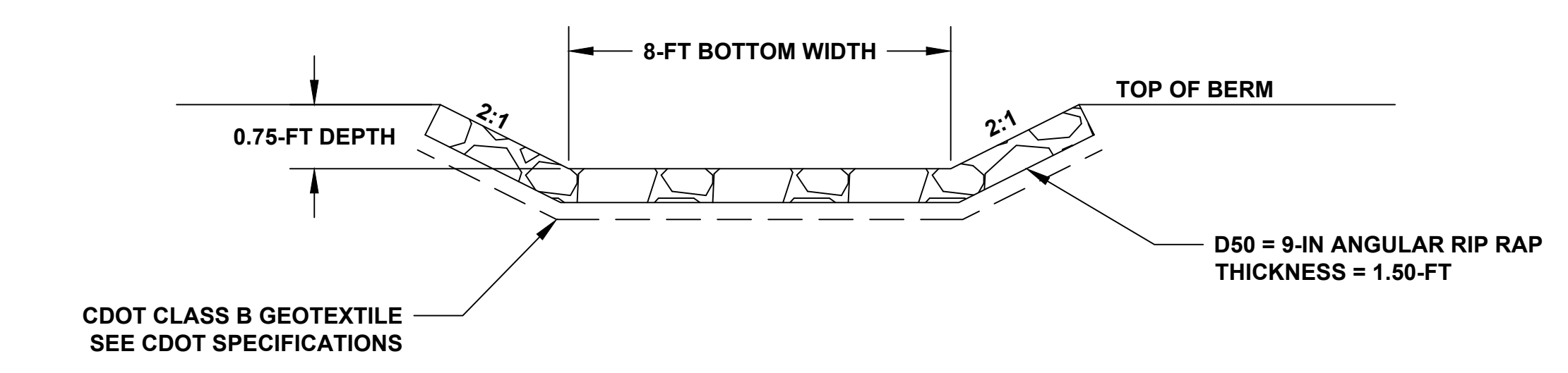
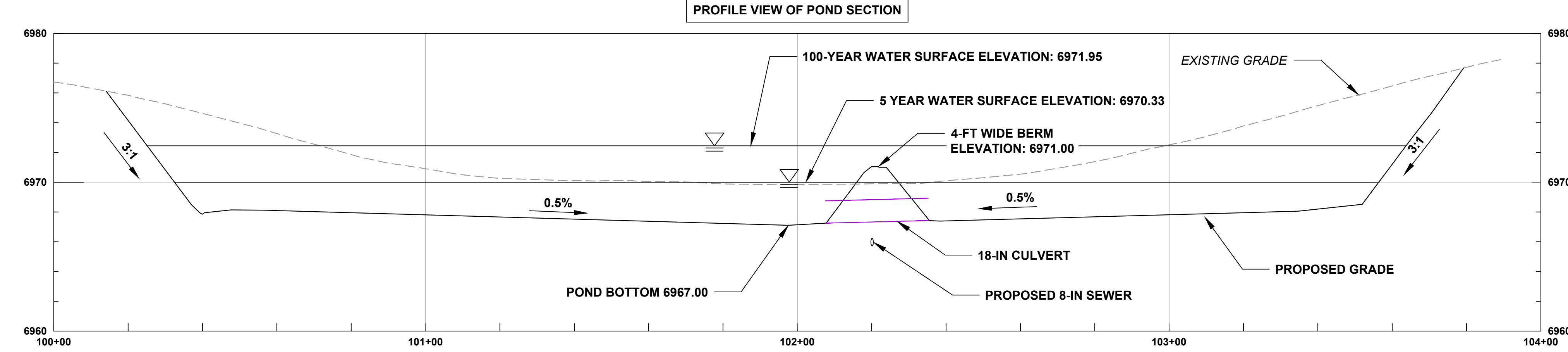
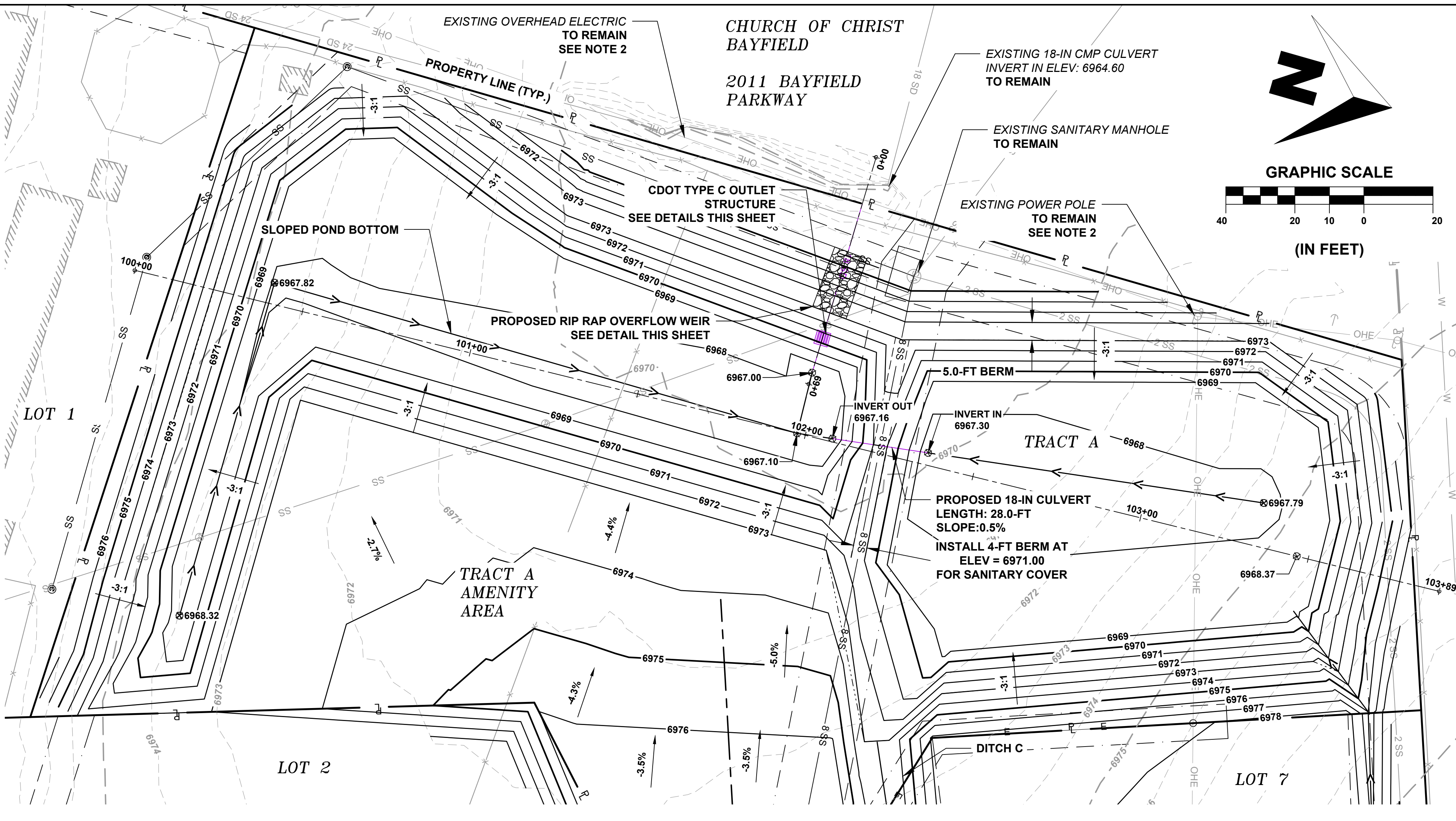
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OUTLET STRUCTURE DETAIL

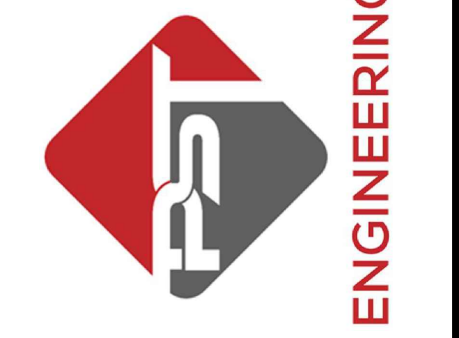


RIPRAP SPILLWAY

- NOTES:
1. POND OUTLET STRUCTURE BOX TO BE COLORADO DEPARTMENT OF TRANSPORTATION INLET, TYPE C WITH CLOSE MESH INLET GRATE.
 2. CONTRACTOR MUST COORDINATE WITH LPEA TO DETERMINE IF POLES NEED TEMPORARY SUPPORT DURING GRADING OPERATIONS.

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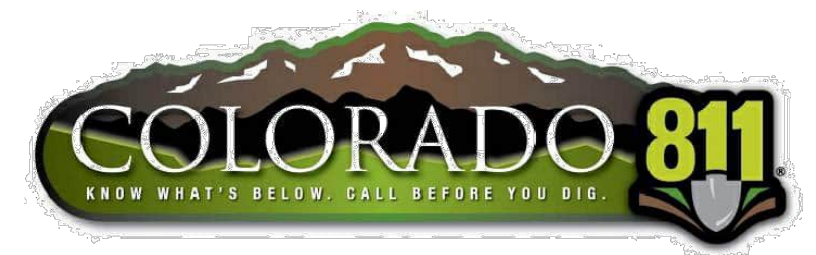
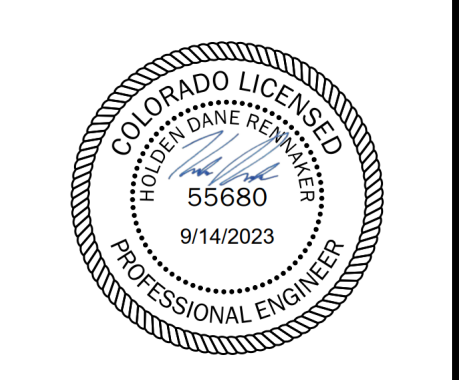
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DURANGO, CO 81301
970-403-5492



HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
POND GRADING & DETAILS

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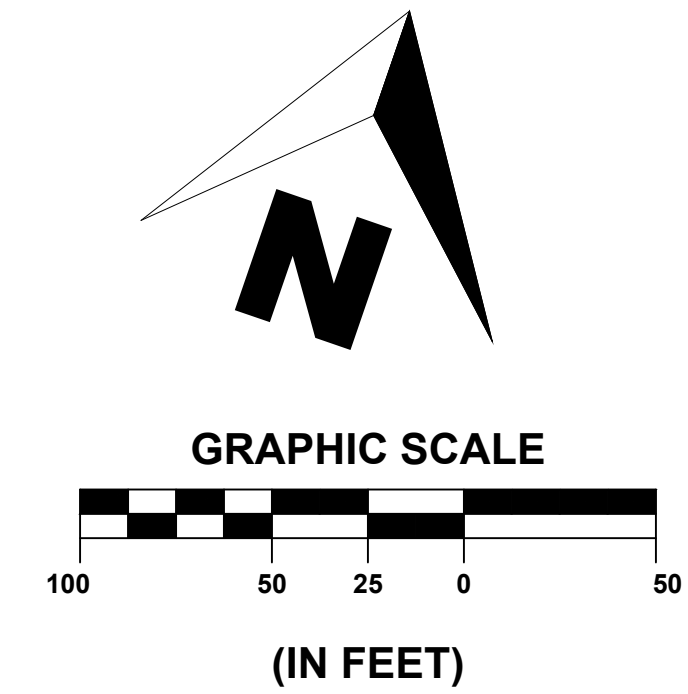


LEGEND:

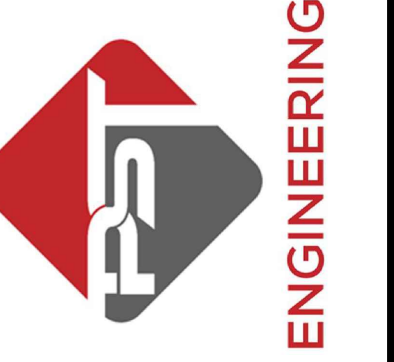
- 1 24-IN WIDE x 8-FT LONG SOLID WHITE LONGITUDINAL CROSSWALK LINES CENTERED ON RAMPS. SPACE 6-FT ON CENTER. MIDDLE STRIPE TO BE CENTERED ON ROAD CENTERLINE
- 2 24-IN SOLID WHITE STOP BARS, LOCATED 4-FT BEHIND CROSSWALK MARKINGS
- 3 4-IN WIDE SOLID WHITE PARKING STRIPE

NOTES:

- 1. PARKING LINES TO BE WATERBORNE PAINT
- 2. ALL STOP BARS, CROSSWALKS, WORDS & SYMBOLS SHALL BE WATERBORNE PAINT
- 3. SIGNS SHALL CONFORM TO STANDARDS IN LATEST VERSION OF *MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)*
- 4. SIGNS SHALL BE PLACED SO THAT BOTTOM OF SIGN IS 7-FT ABOVE ADJACENT SIDEWALK AND 2-FT AWAY FROM CURB



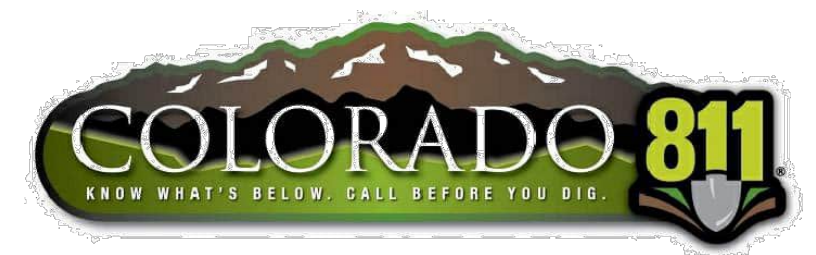
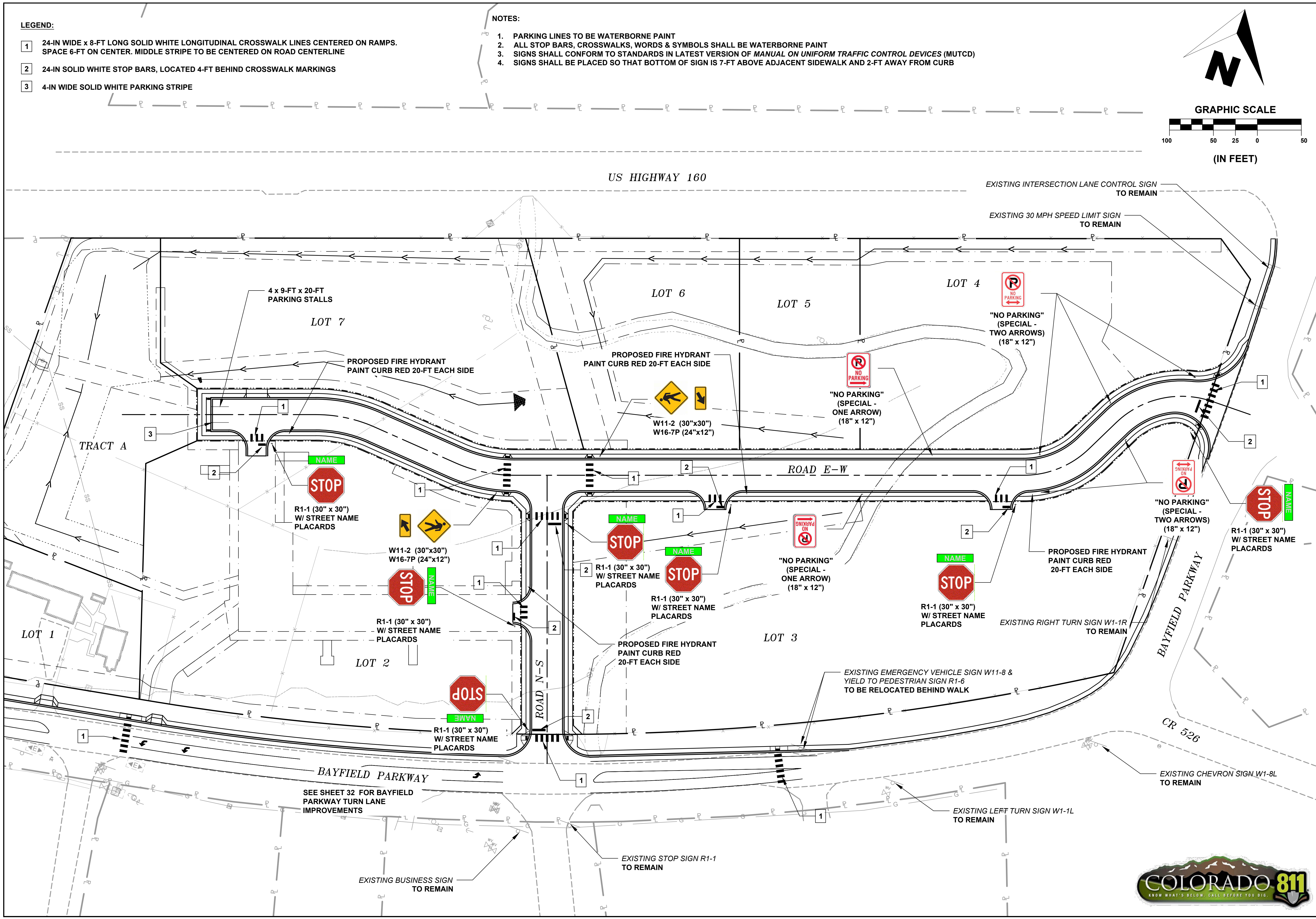
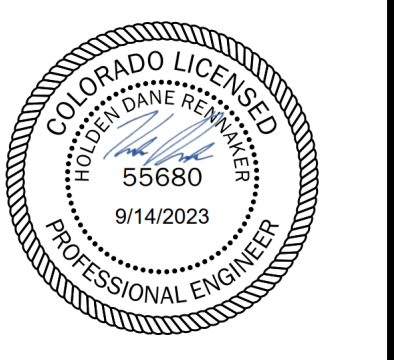
PST ENGINEERING, LLC
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DURANGO, CO 81301
970-403-5492



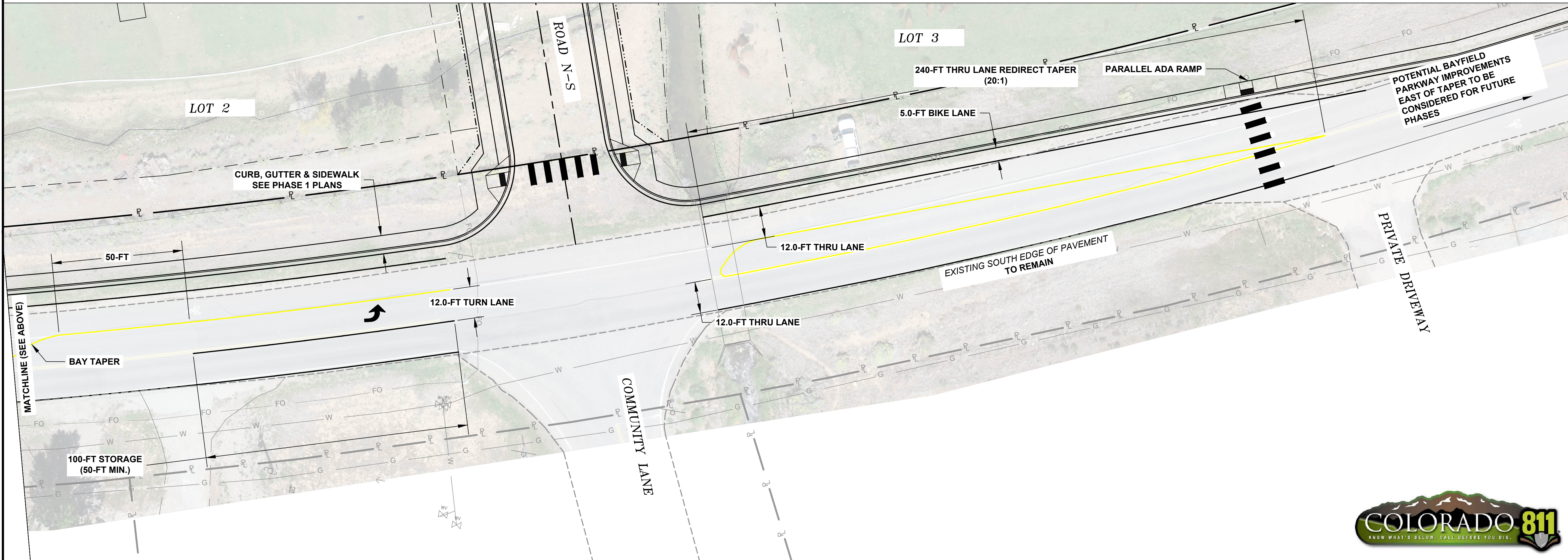
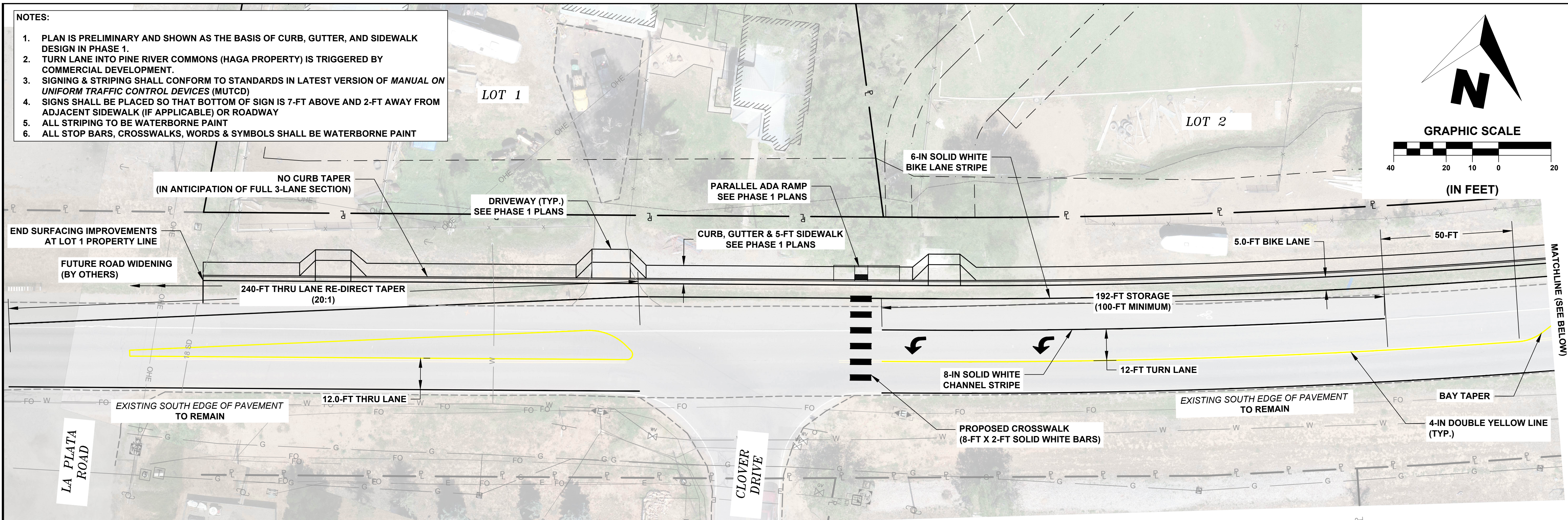
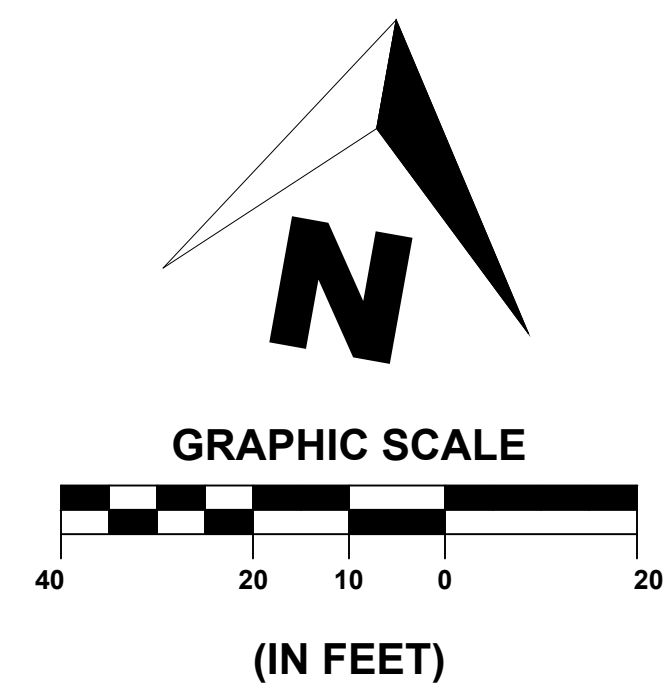
**HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
SIGNING & STRIPING PLAN**

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DATE: 09/14/2023
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- NOTES:
1. PLAN IS PRELIMINARY AND SHOWN AS THE BASIS OF CURB, GUTTER, AND SIDEWALK DESIGN IN PHASE 1.
 2. TURN LANE INTO PINE RIVER COMMONS (HAGA PROPERTY) IS TRIGGERED BY COMMERCIAL DEVELOPMENT.
 3. SIGNING & STRIPING SHALL CONFORM TO STANDARDS IN LATEST VERSION OF *MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)*
 4. SIGNS SHALL BE PLACED SO THAT BOTTOM OF SIGN IS 7-FT ABOVE AND 2-FT AWAY FROM ADJACENT SIDEWALK (IF APPLICABLE) OR ROADWAY
 5. ALL STRIPING TO BE WATERBORNE PAINT
 6. ALL STOP BARS, CROSSWALKS, WORDS & SYMBOLS SHALL BE WATERBORNE PAINT



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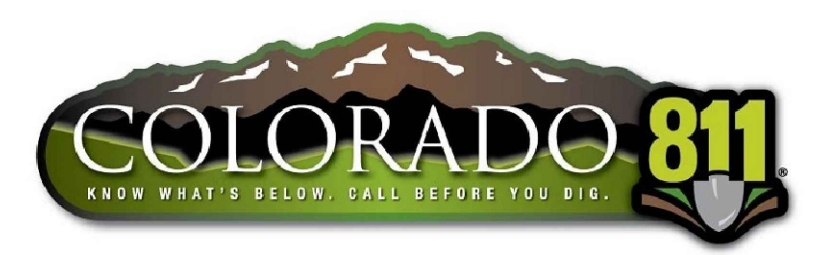
PST ENGINEERING, LLC
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 970-403-5492

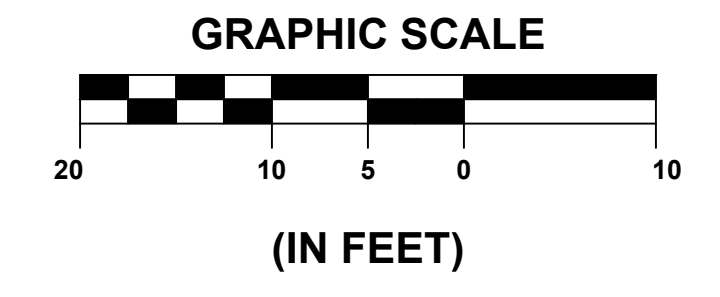
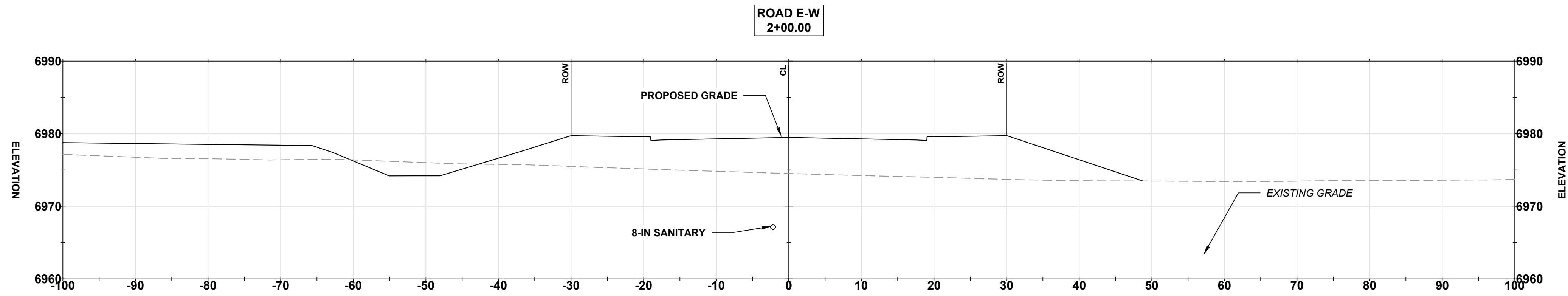
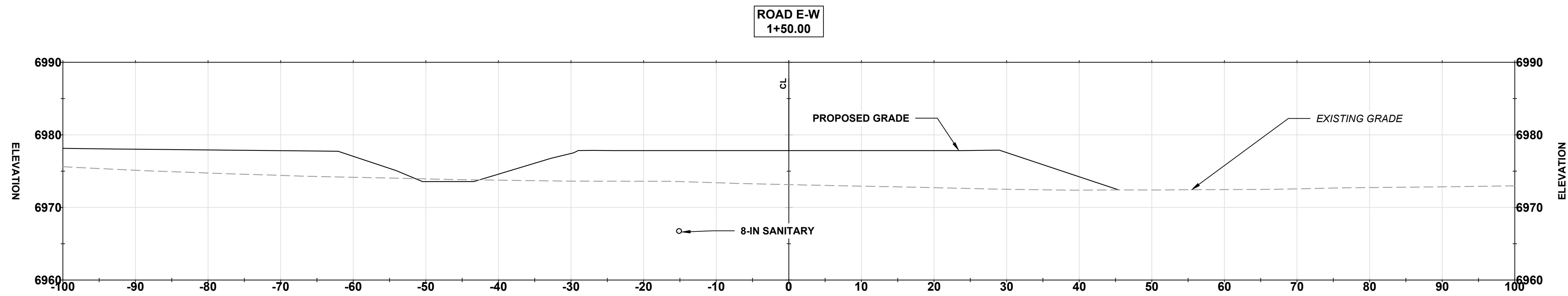
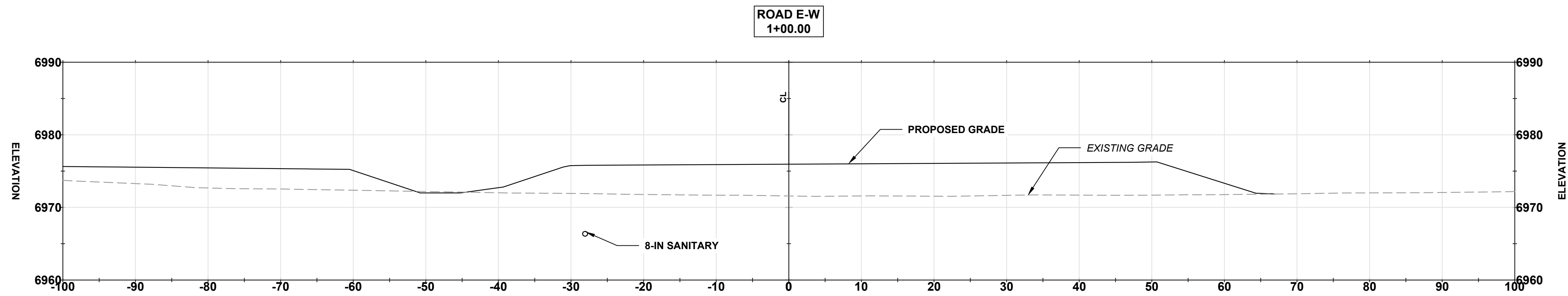
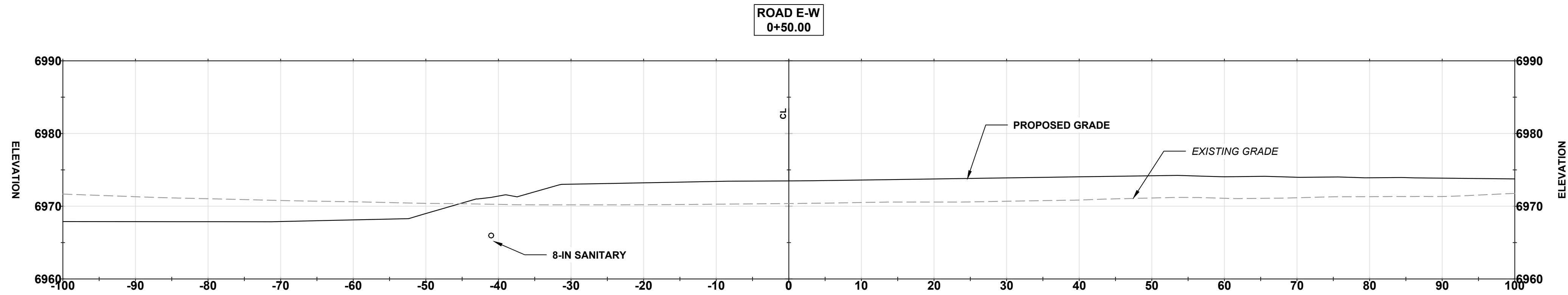
**HAGA PROPERTY
 MASTER PLAN
 2107 BAYFIELD PARKWAY
 BAYFIELD, CO 81122
 BAYFIELD PARKWAY
 IMPROVEMENTS PLAN**

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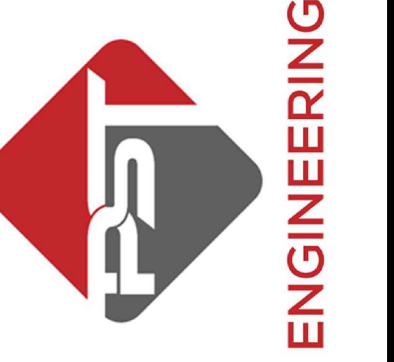




VERTICAL EXAGGERATION: 1X

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PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

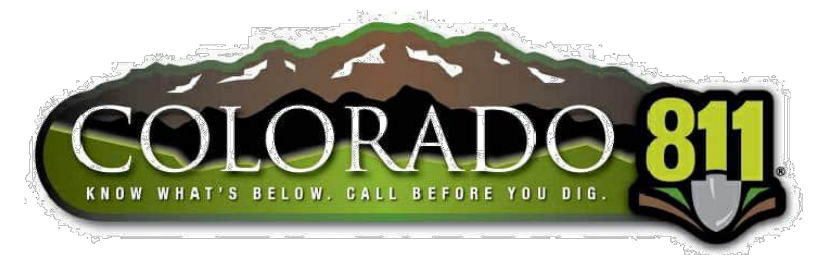


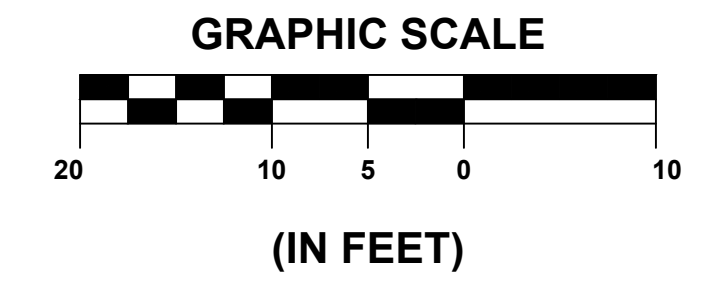
HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
ROAD E-W CROSS SECTIONS
#1

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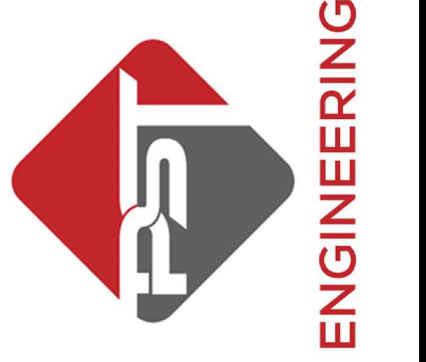
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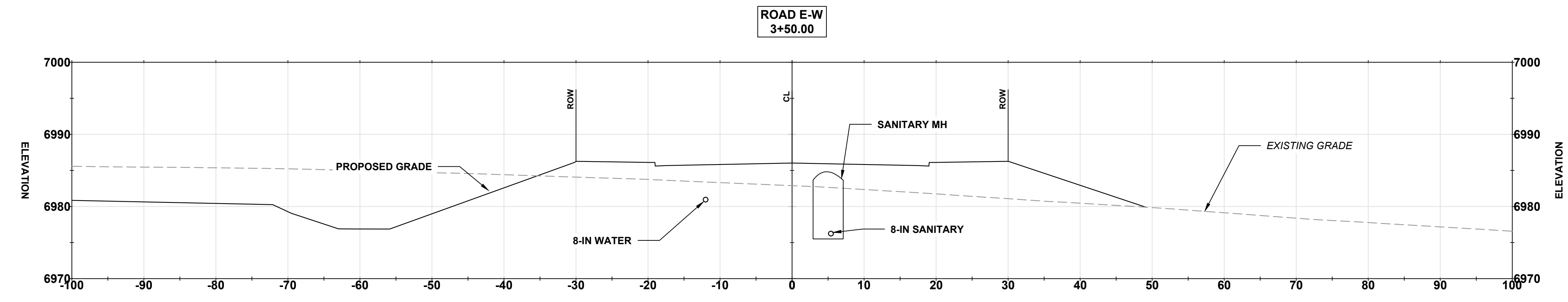
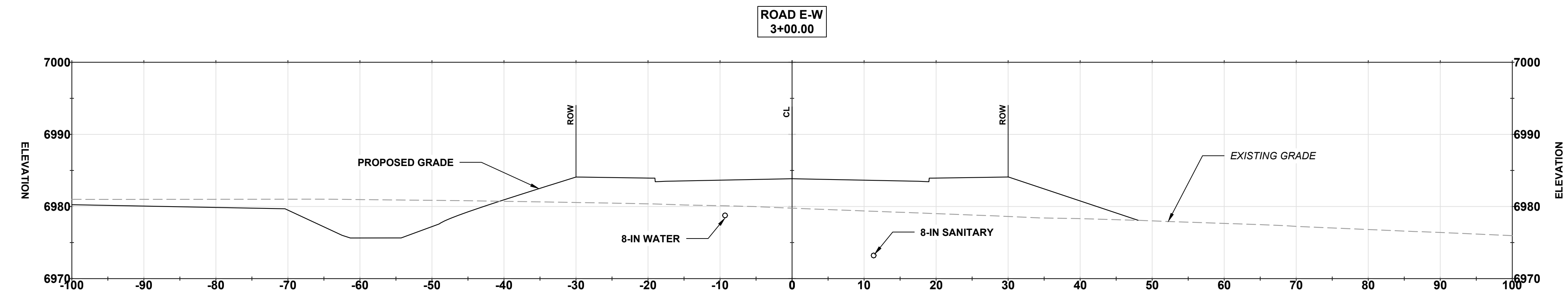
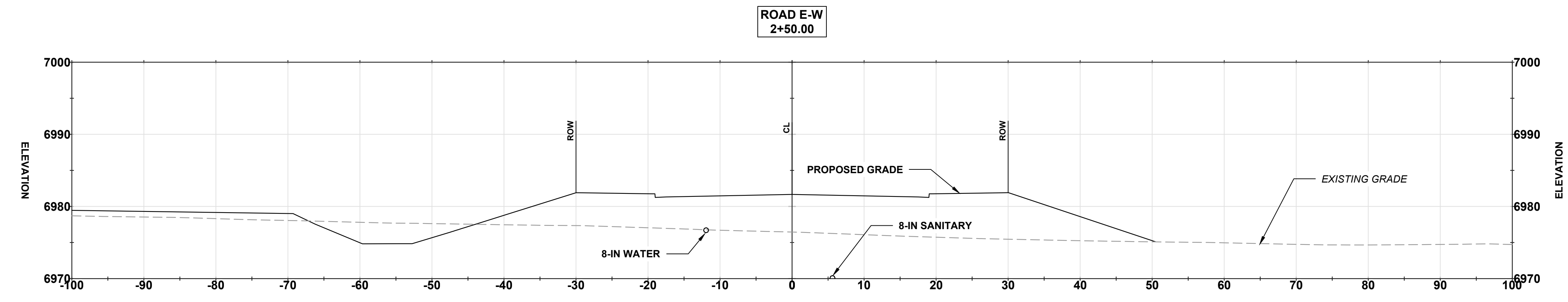




PST ENGINEERING, LLC
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 DURANGO, CO 81301
 970-403-5492



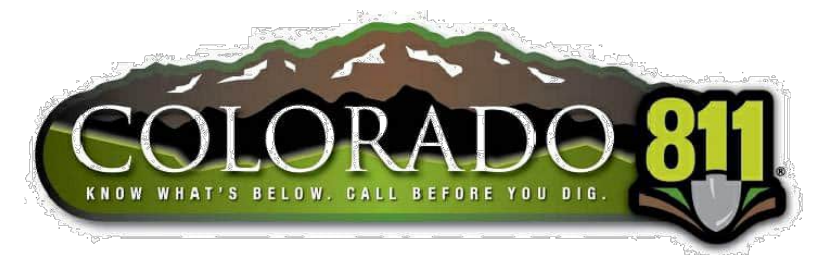
HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
ROAD E-W CROSS SECTIONS
#2

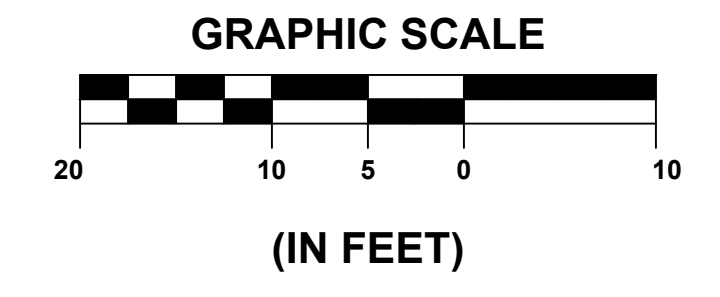


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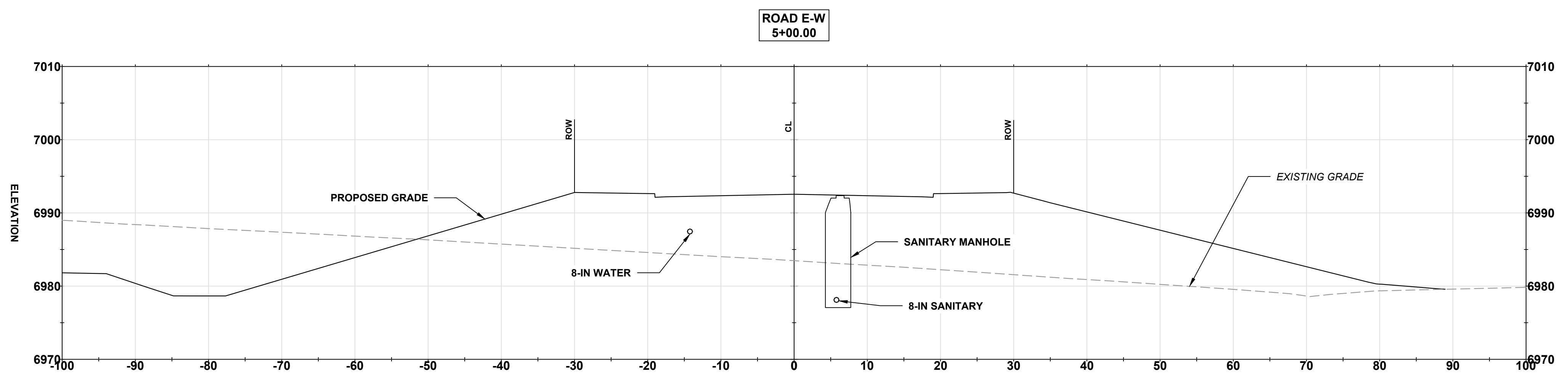
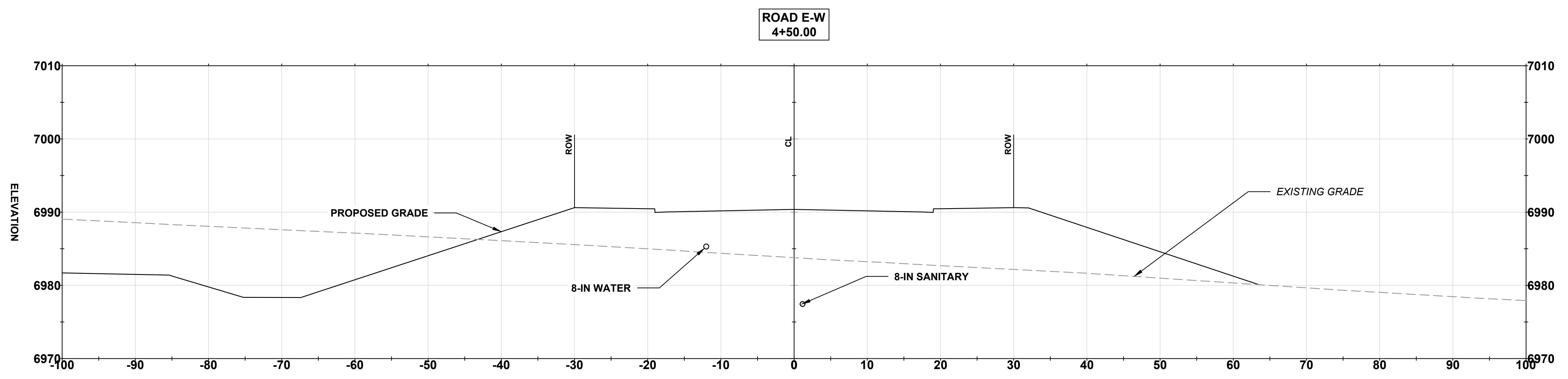
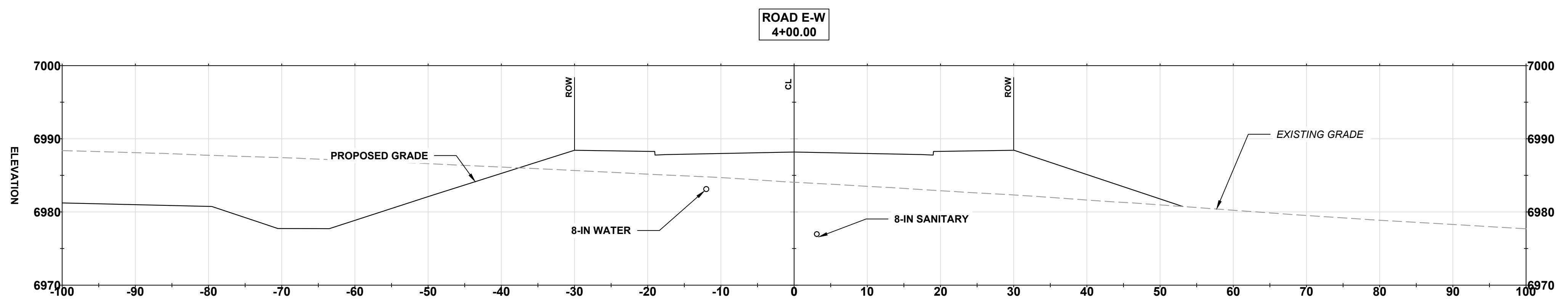
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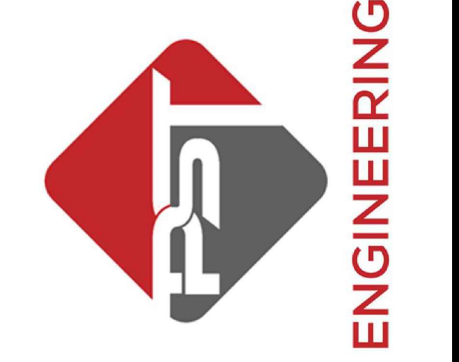


VERTICAL EXAGGERATION: 1X



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PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

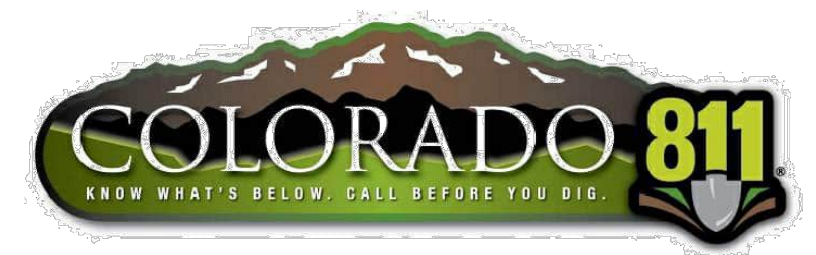


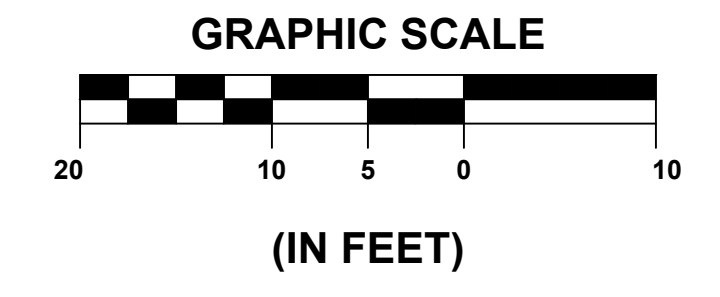
**HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
ROAD E-W CROSS SECTIONS
#3**

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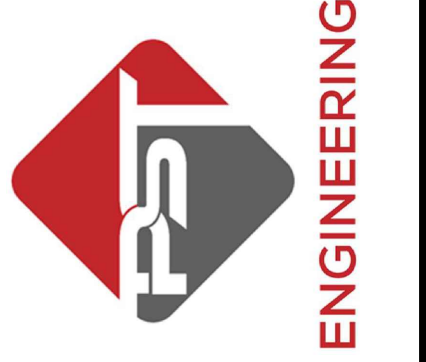
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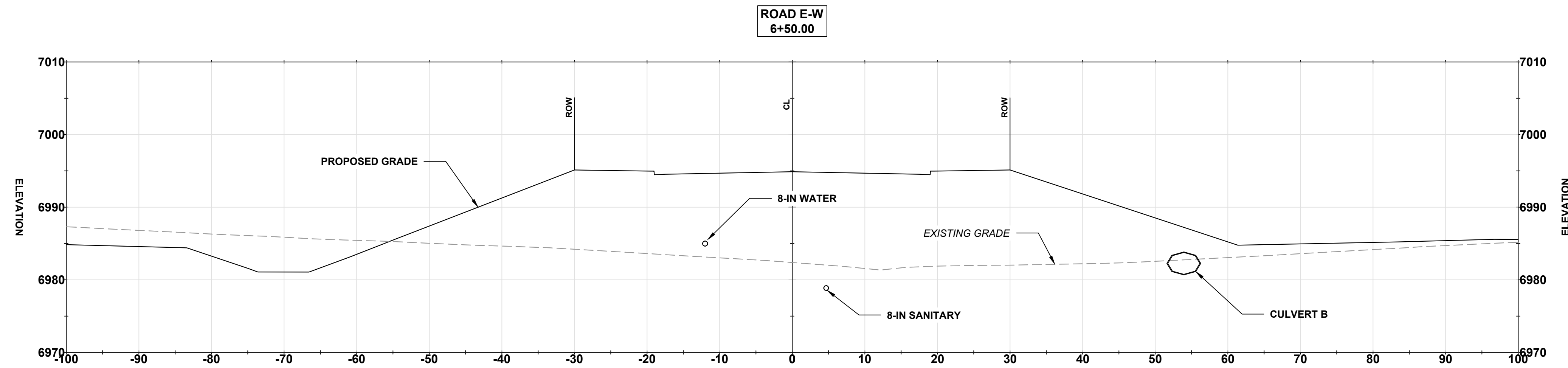
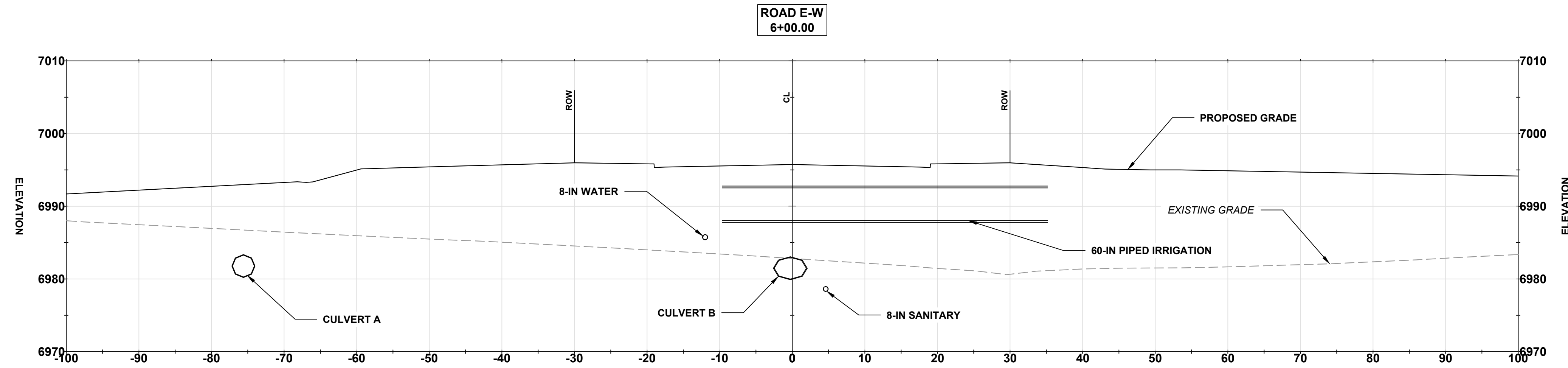
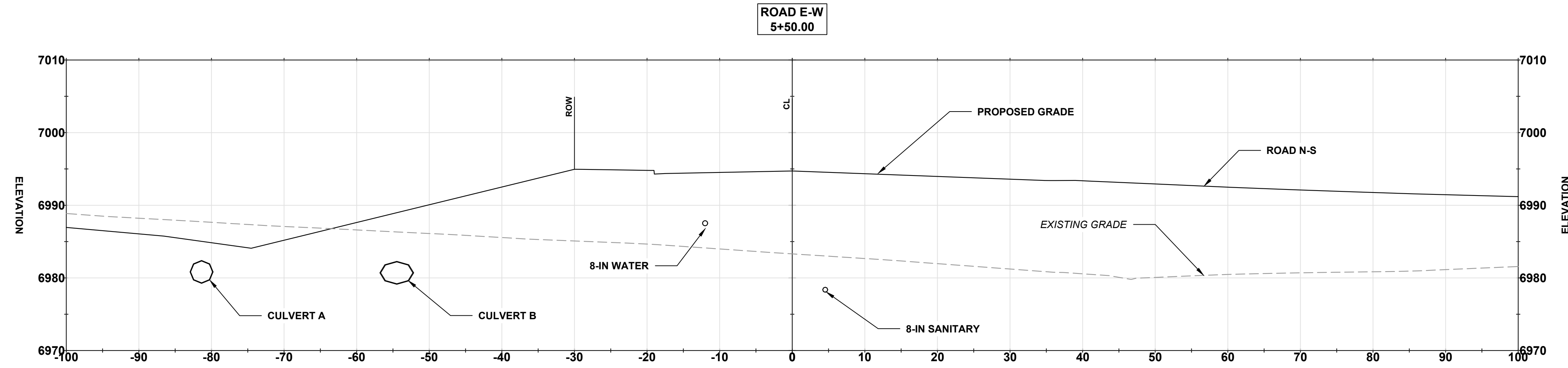


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49

PST ENGINEERING, LLC
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 DURANGO, CO 81301
 970-403-5492



**HAGA PROPERTY
 MASTER PLAN
 2107 BAYFIELD PARKWAY
 BAYFIELD, CO 81122
 ROAD E-W CROSS SECTIONS
 #4**

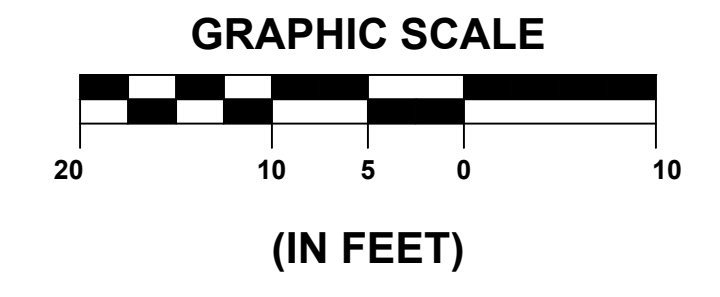


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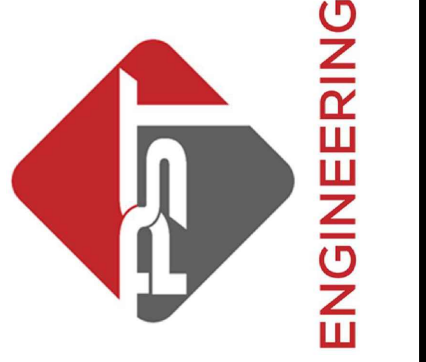
DATE: 09/14/2023
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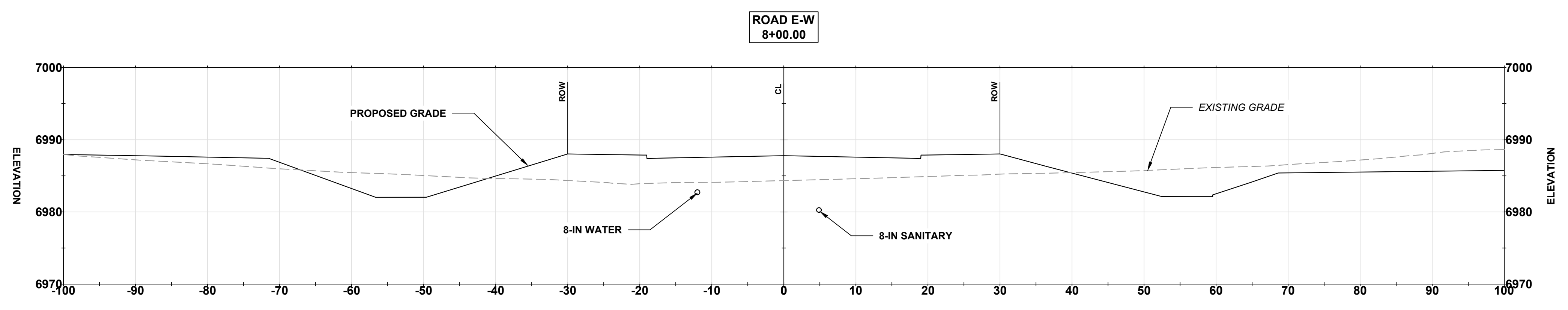
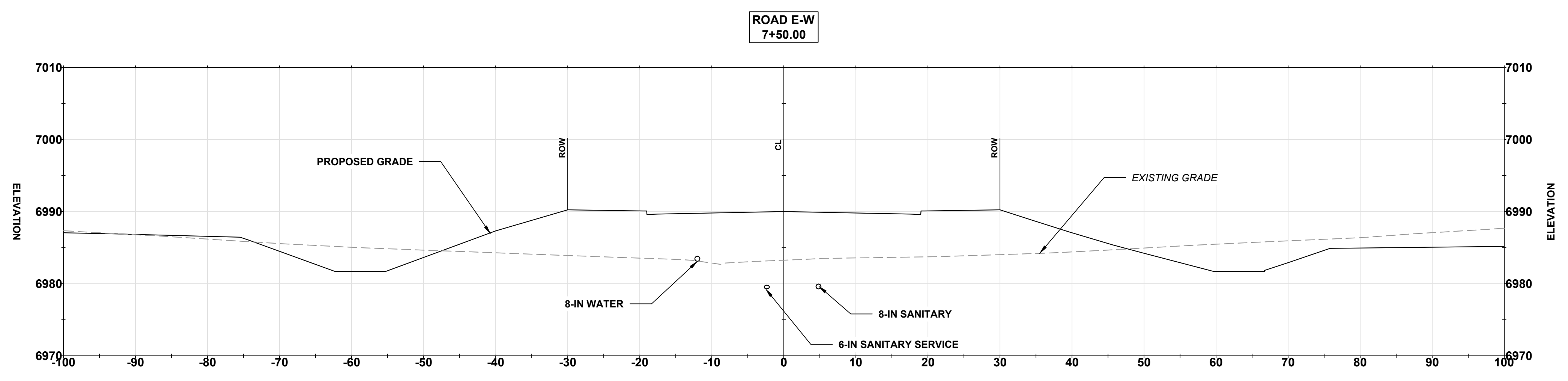
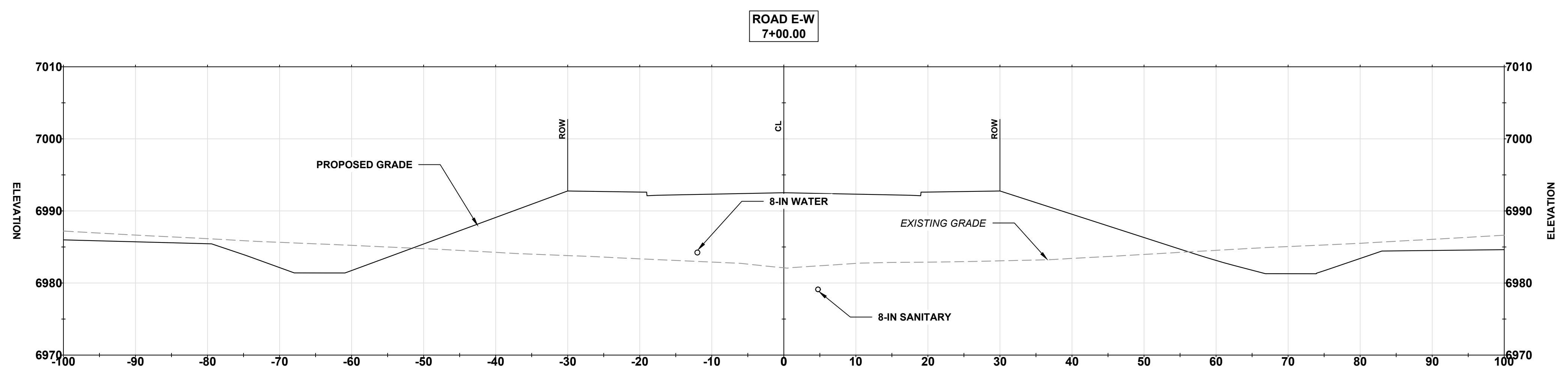


SHEET
37 OF **49**

PST ENGINEERING, LLC
 2615 MAIN AVE. SUITE 209
 DURANGO, CO 81301
 970-403-5492



HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
ROAD E-W CROSS SECTIONS
#5

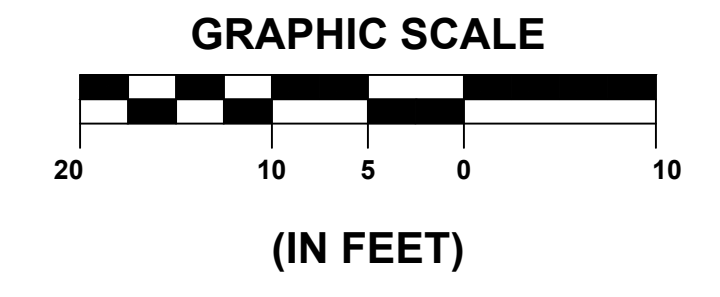


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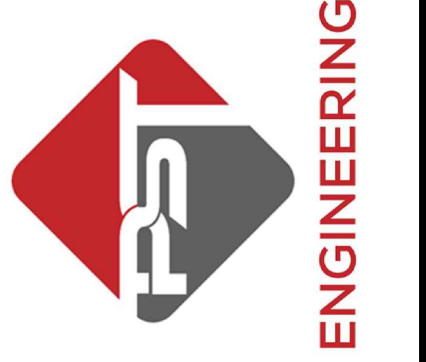
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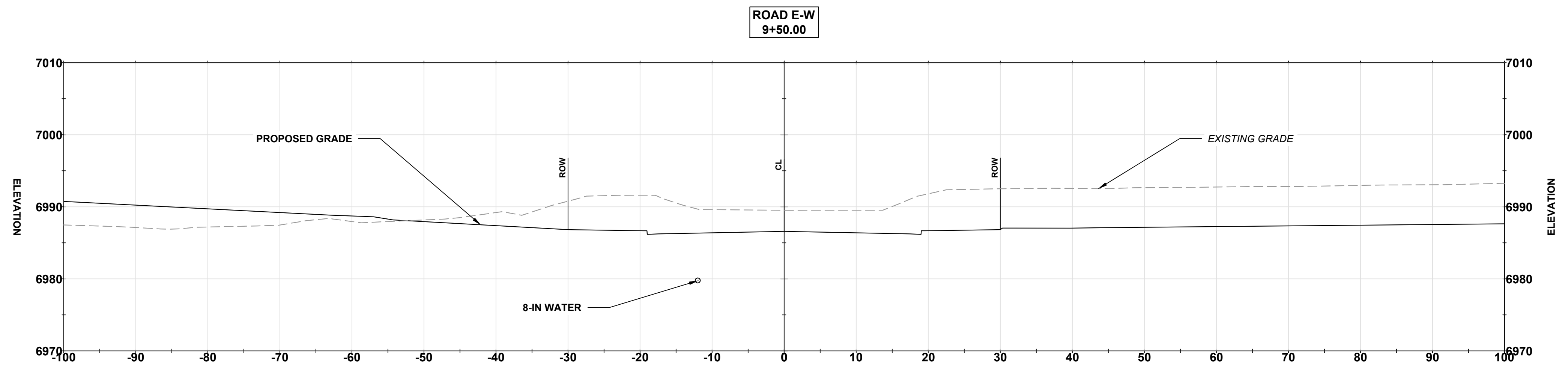
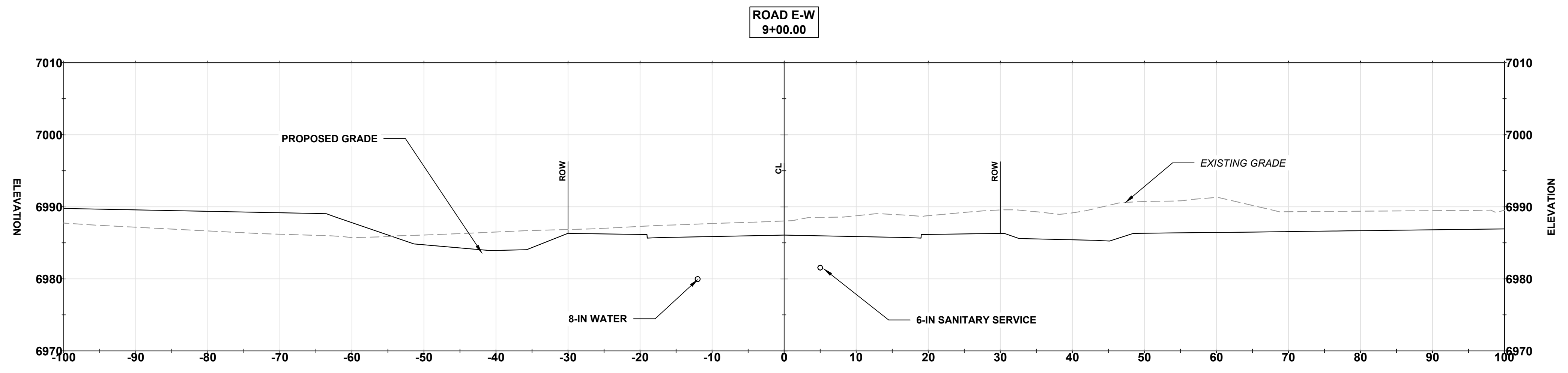
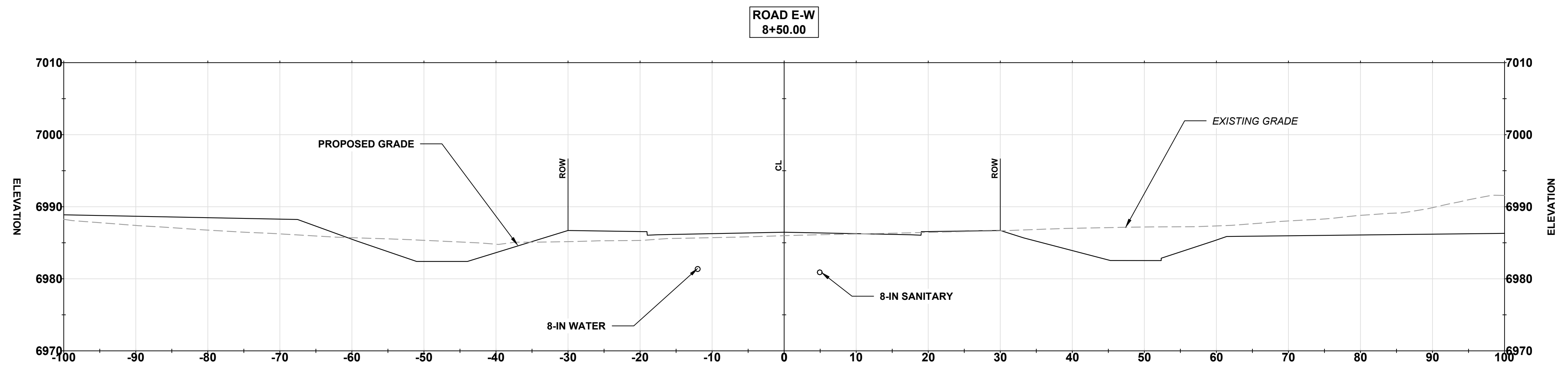


SHEET
38
 OF
49

PST ENGINEERING, LLC
 2615 MAIN AVE. SUITE 209
 DURANGO, CO 81301
 970-403-5492



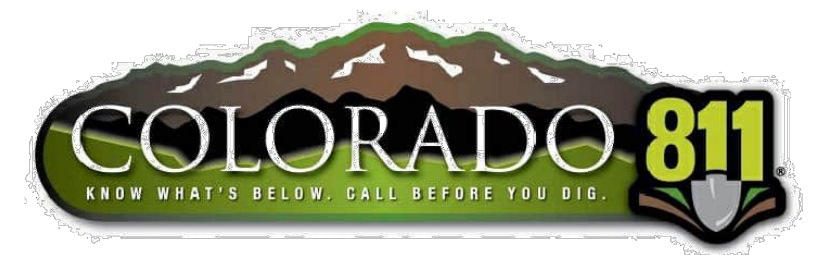
**HAGA PROPERTY
 MASTER PLAN
 2107 BAYFIELD PARKWAY
 BAYFIELD, CO 81122
 ROAD E-W CROSS SECTIONS
 #6**

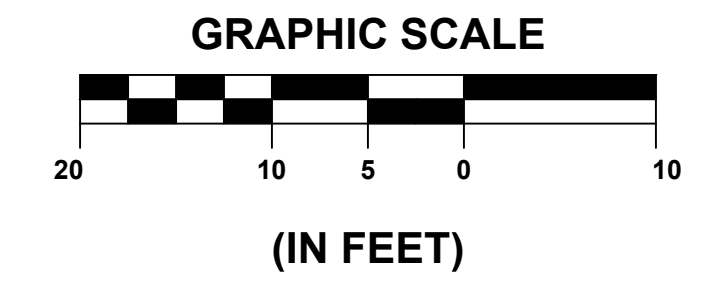


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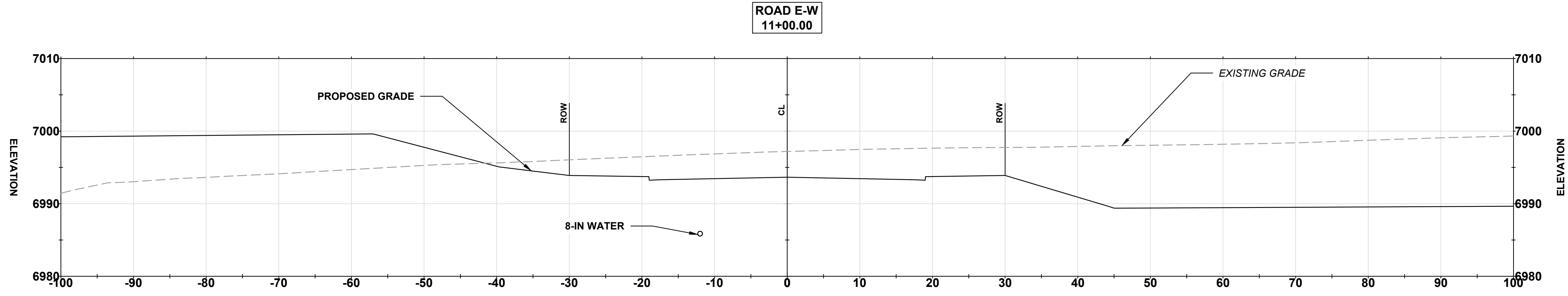
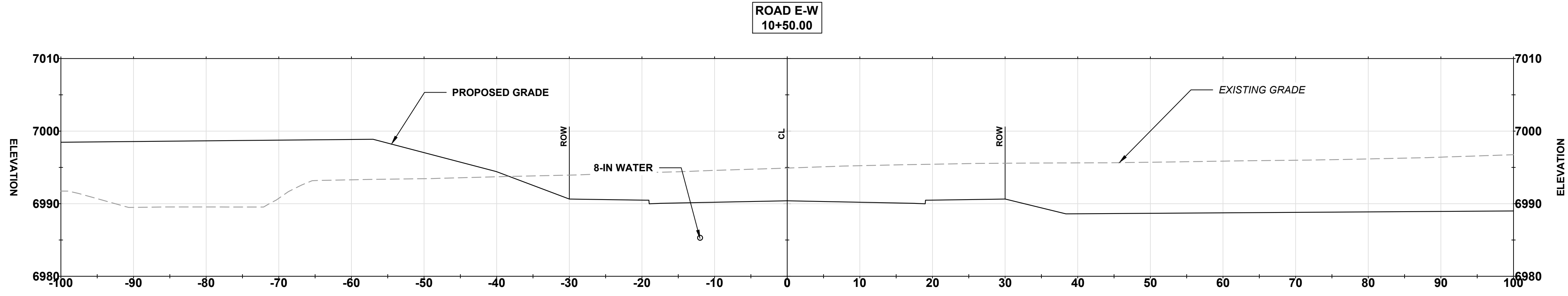
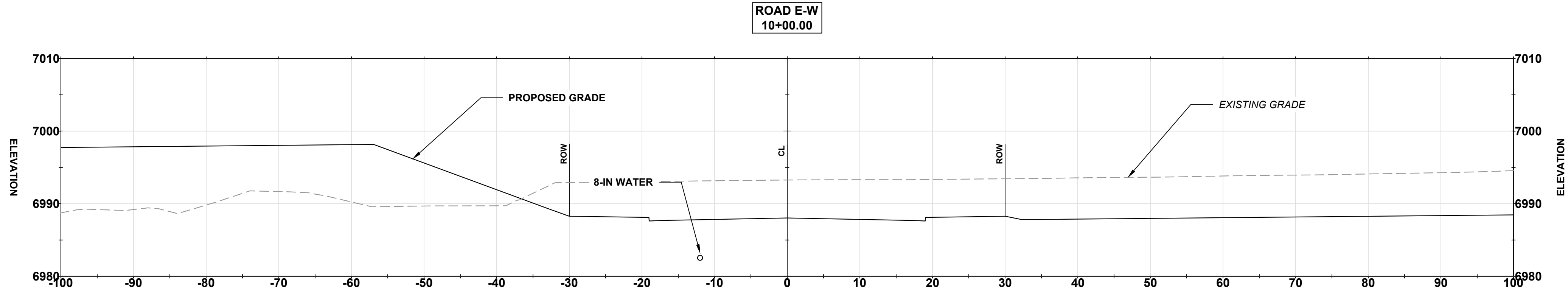
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DATE: 09/14/2023
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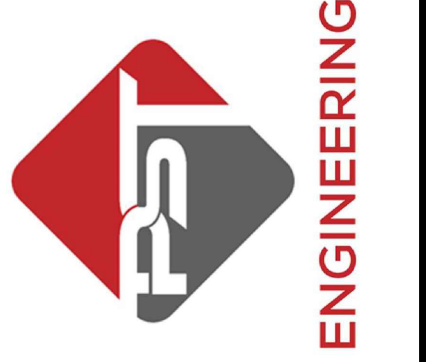


VERTICAL EXAGGERATION: 1X



SHEET
39 OF 49

PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

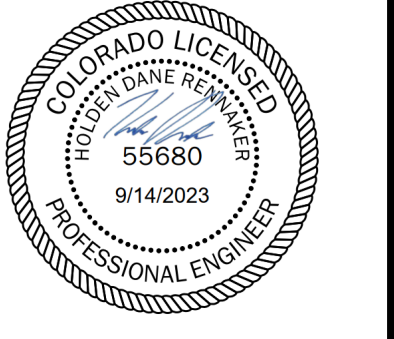
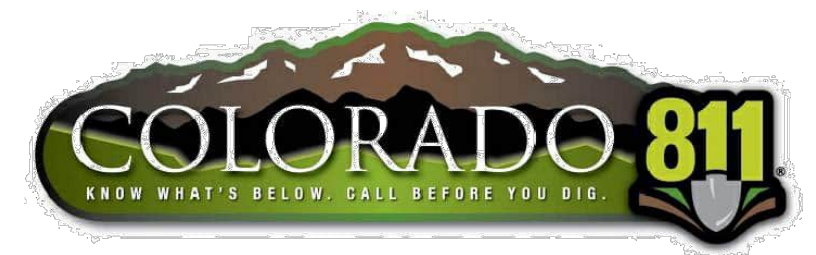


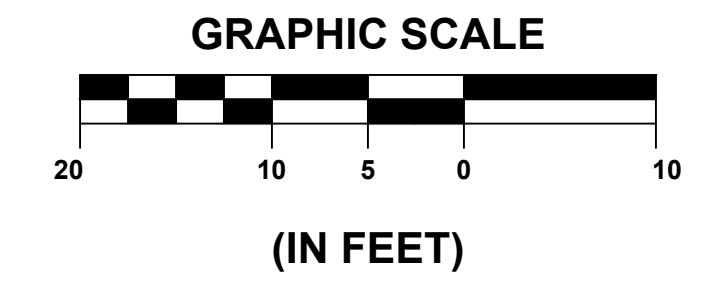
**HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
ROAD E-W CROSS SECTIONS
#7**

REVISIONS:

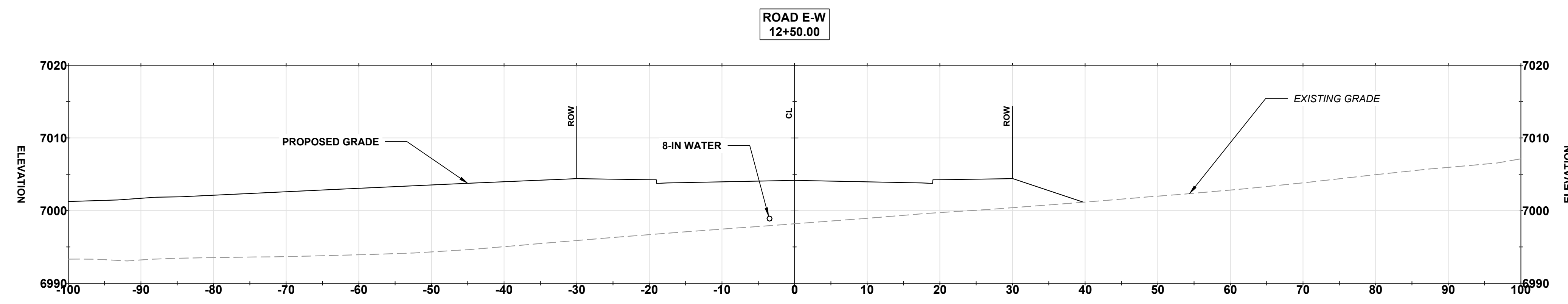
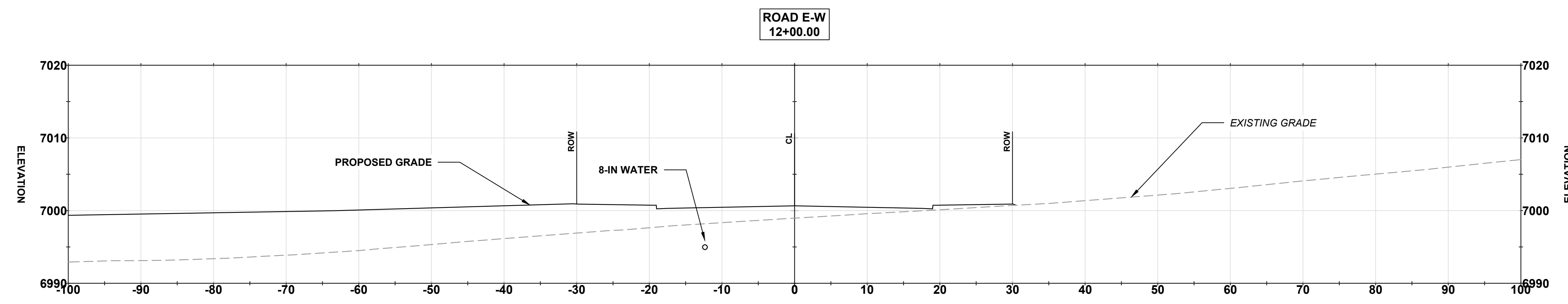
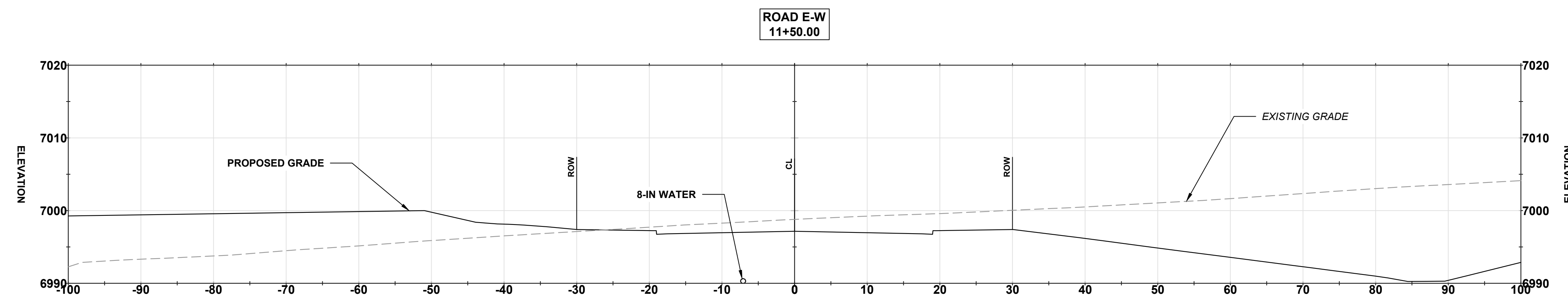
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DRAWN BY: HR
CHECKED BY: SP



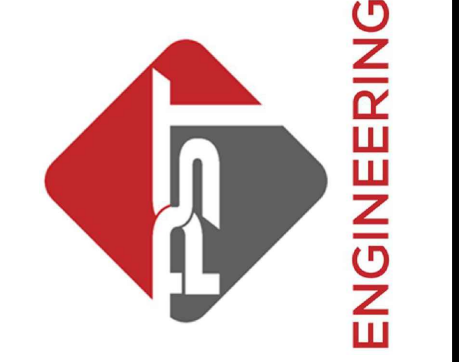


VERTICAL EXAGGERATION: 1X



SHEET
40
OF
49

PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492



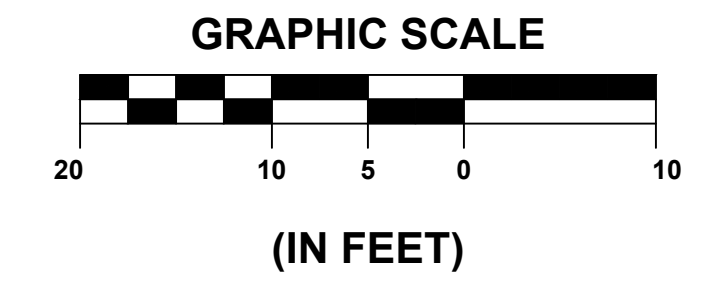
**HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
ROAD E-W CROSS SECTIONS
#8**

REVISIONS:

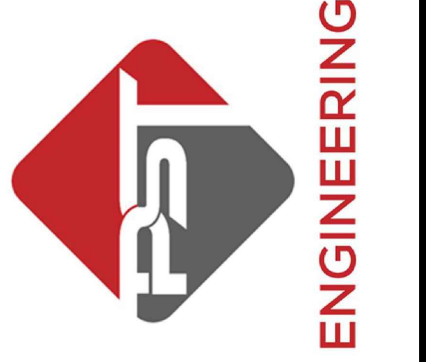
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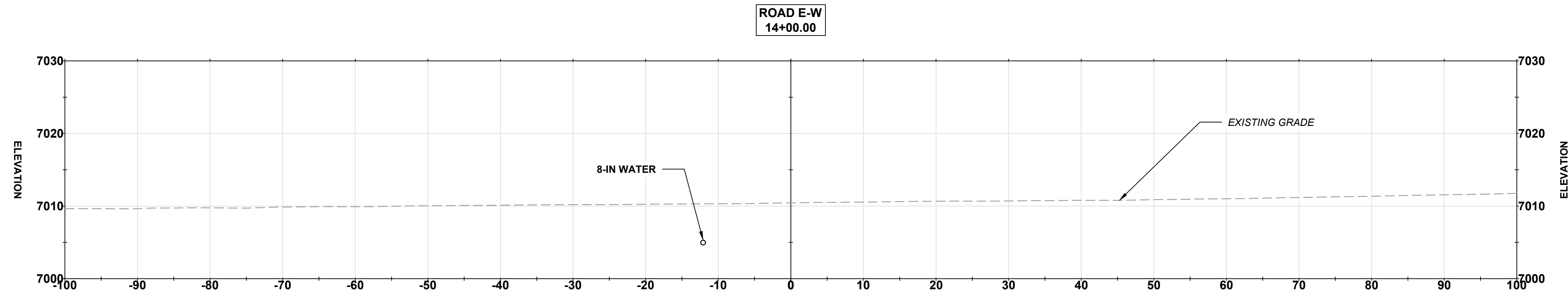
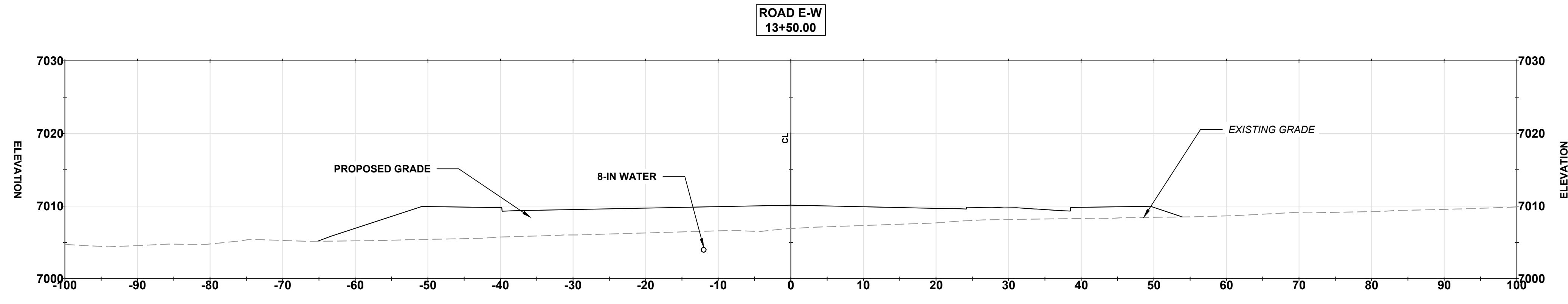
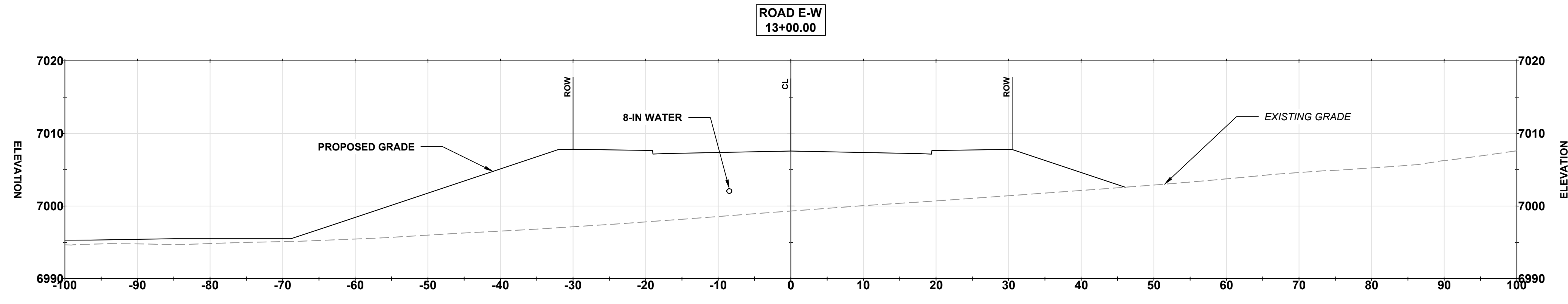




PST ENGINEERING, LLC
 2615 MAIN AVE. SUITE 209
 DURANGO, CO 81301
 970-403-5492



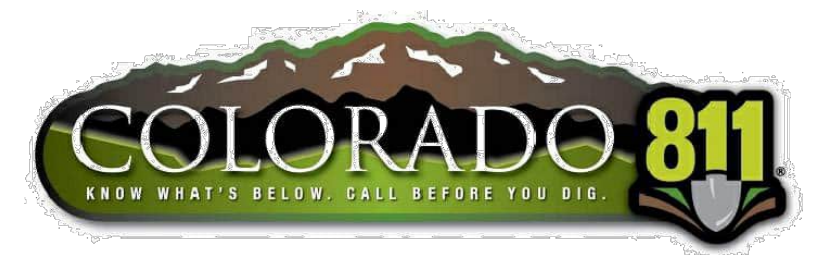
HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
ROAD E-W CROSS SECTIONS
#9

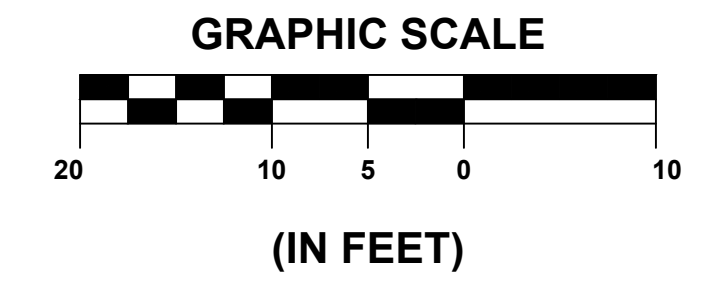


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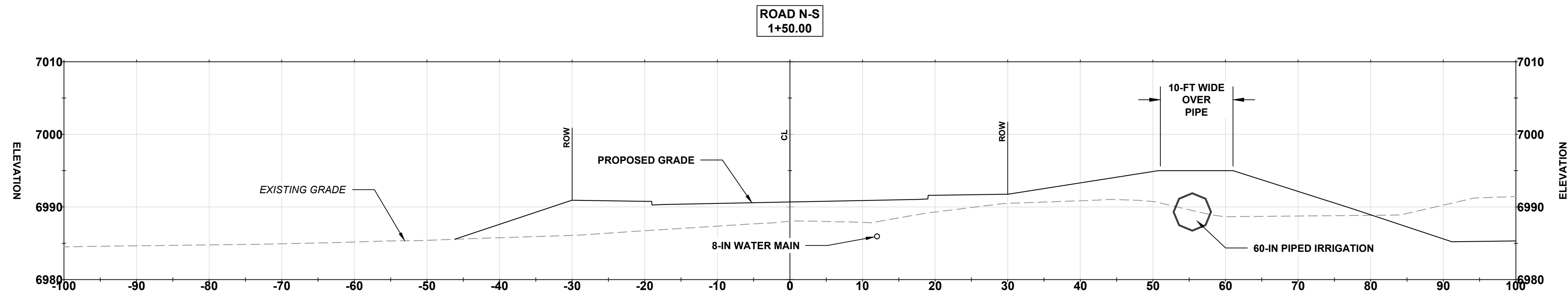
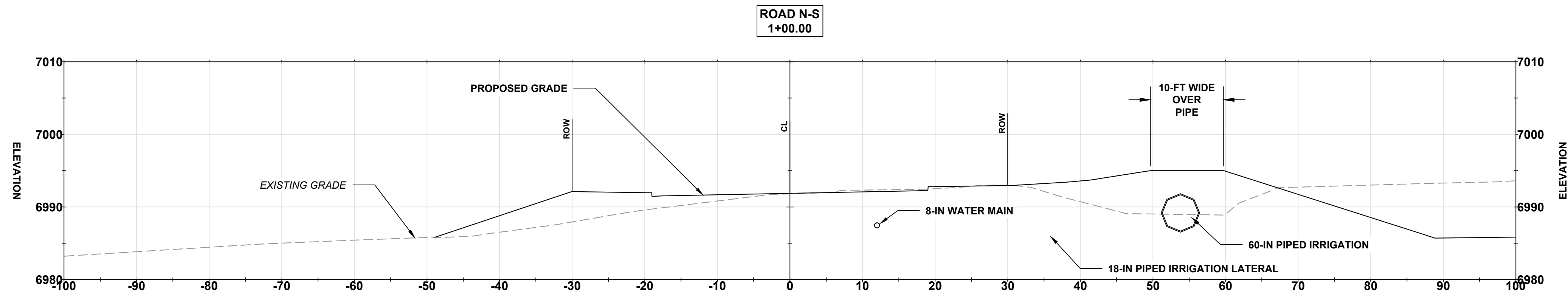
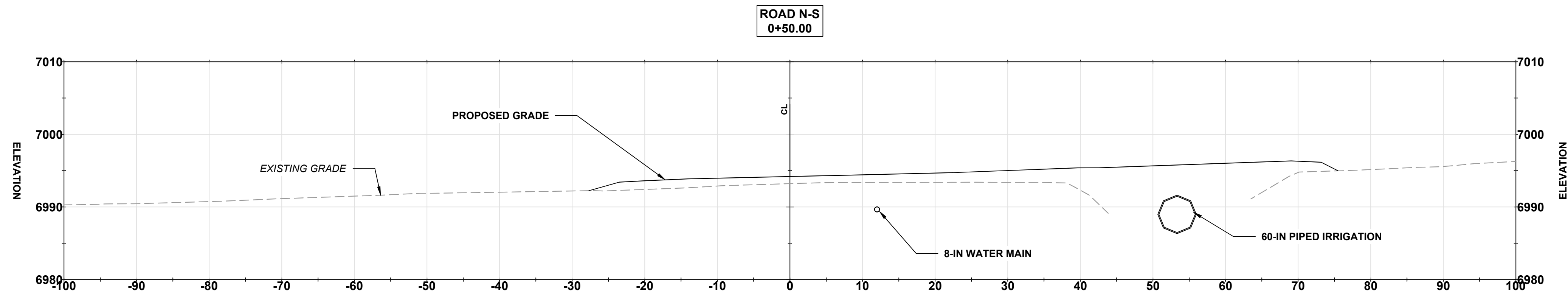
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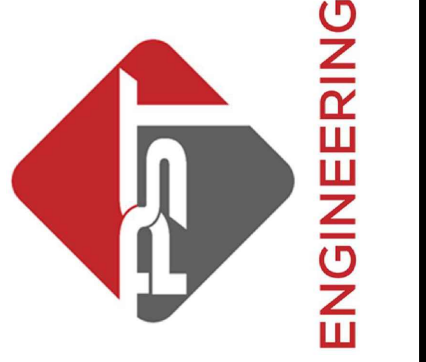


VERTICAL EXAGGERATION: 1X



SHEET
42 OF 49

PST ENGINEERING, LLC
2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

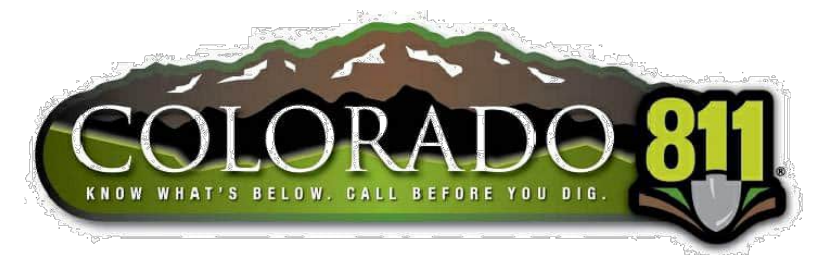


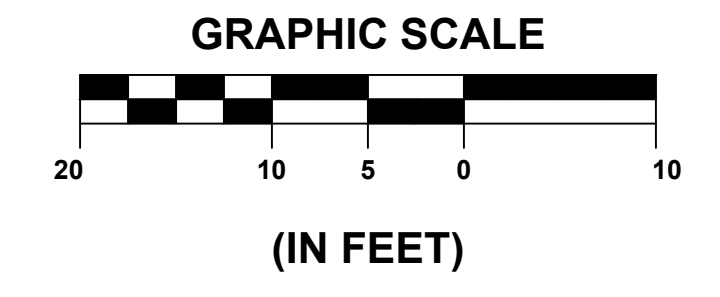
HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
ROAD N-S CROSS SECTIONS
#1

REVISIONS:

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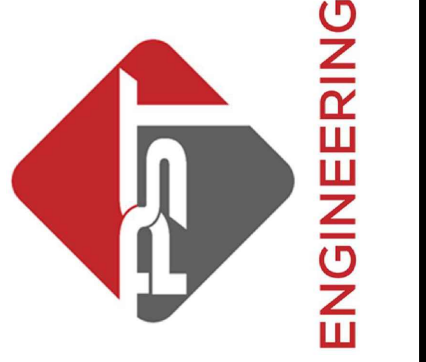
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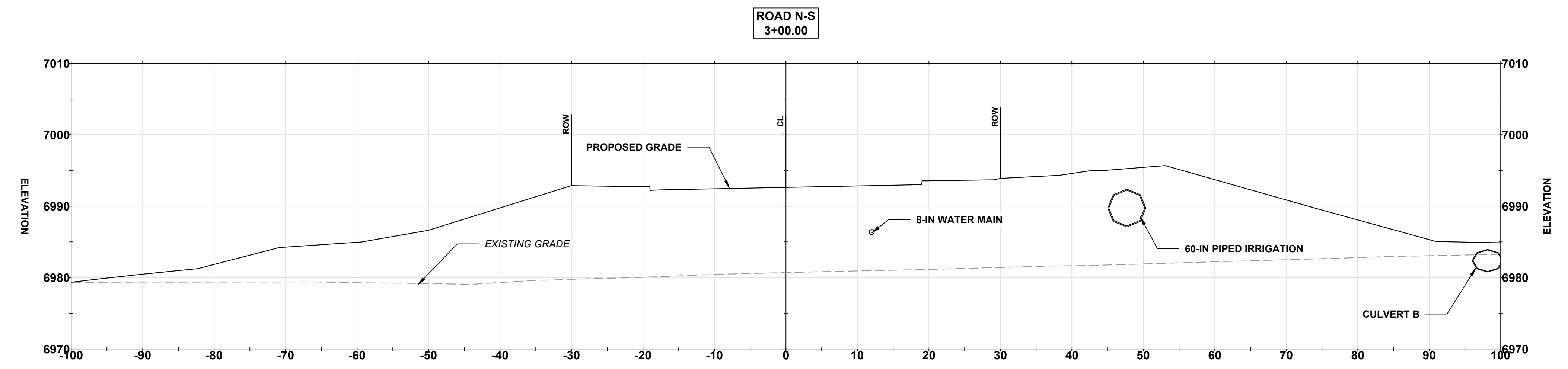
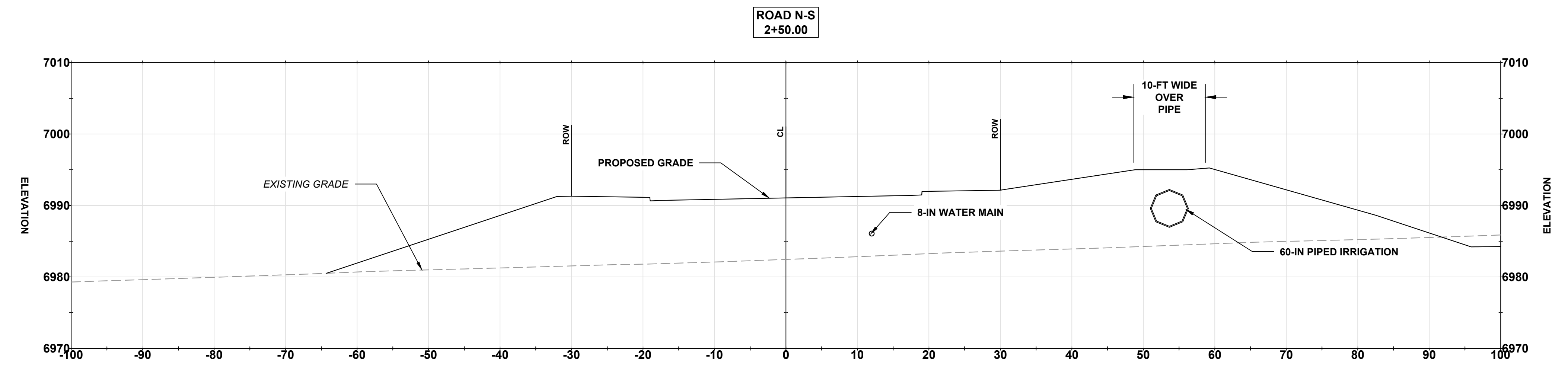
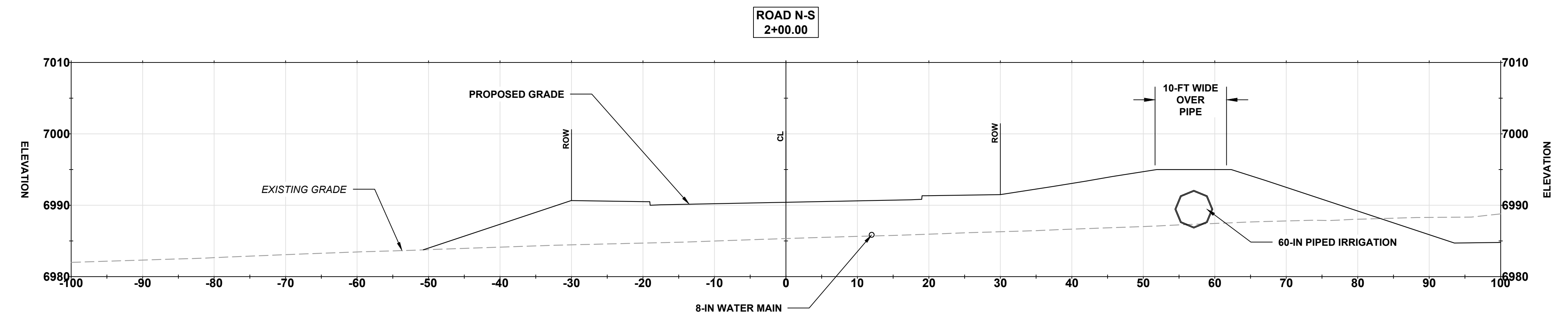


SHEET
43
 OF
49

PST ENGINEERING, LLC
 2615 MAIN AVE. SUITE 209
 DURANGO, CO 81301
 970-403-5492



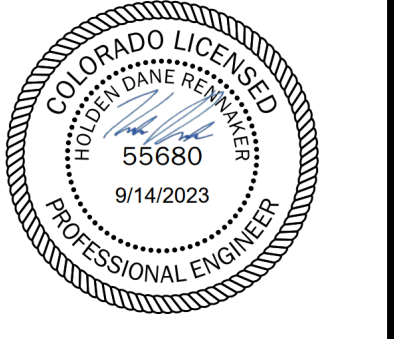
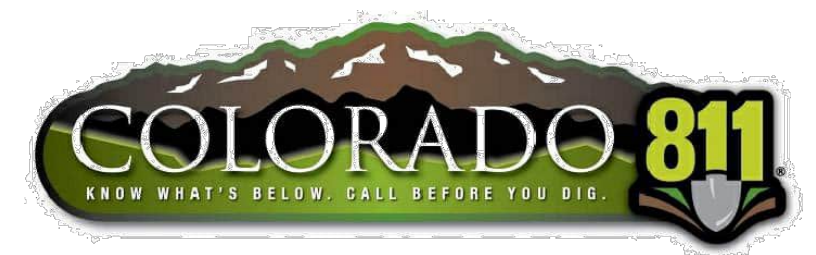
**HAGA PROPERTY
 MASTER PLAN
 2107 BAYFIELD PARKWAY
 BAYFIELD, CO 81122
 ROAD N-S CROSS SECTIONS
 #2**

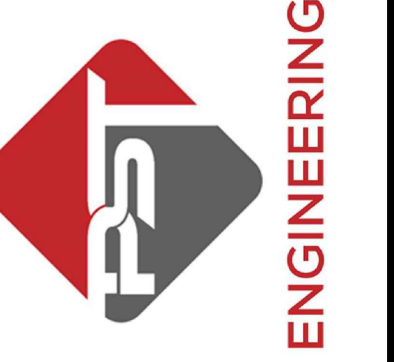


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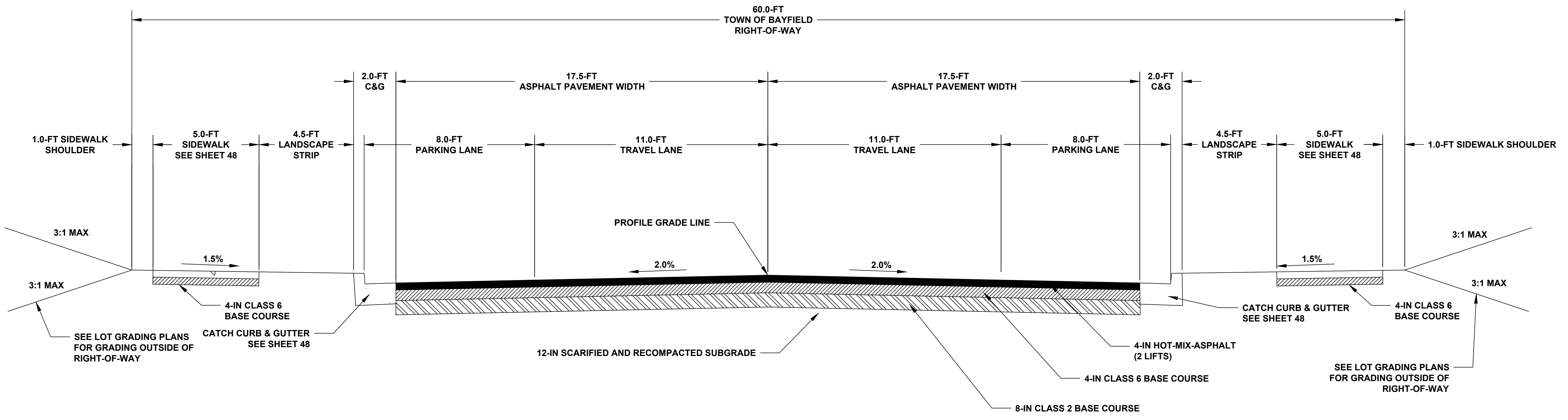
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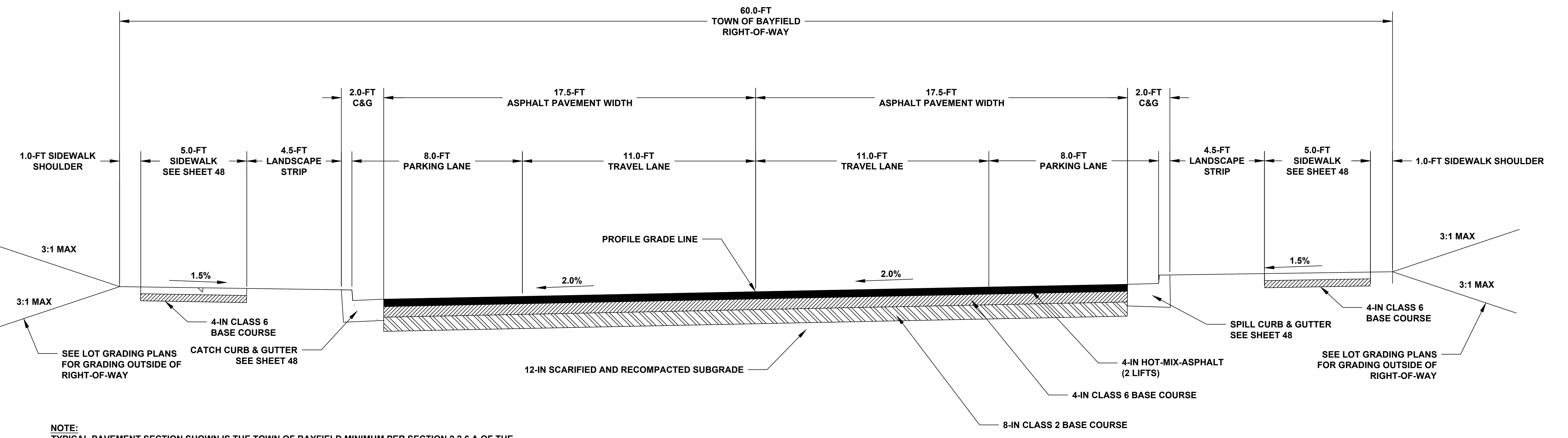




HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
TYPICAL SECTIONS



ROAD E-W TYPICAL SECTION (CROWNED)
NOT TO SCALE



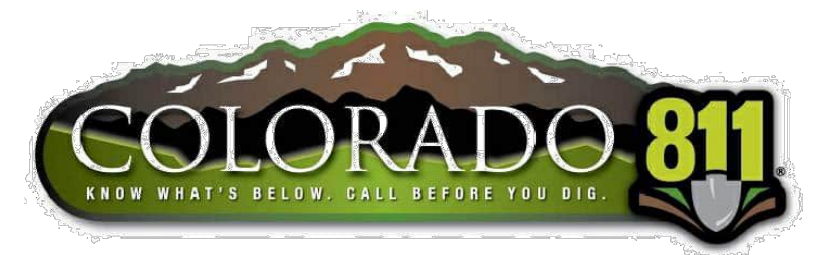
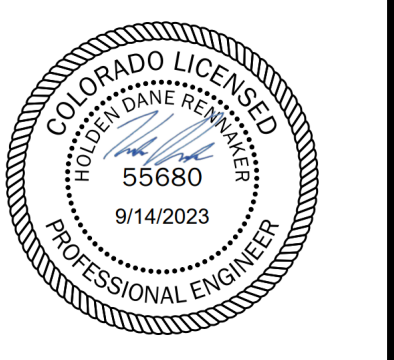
ROAD N-S TYPICAL SECTION (REVERSE CROWN)
NOT TO SCALE

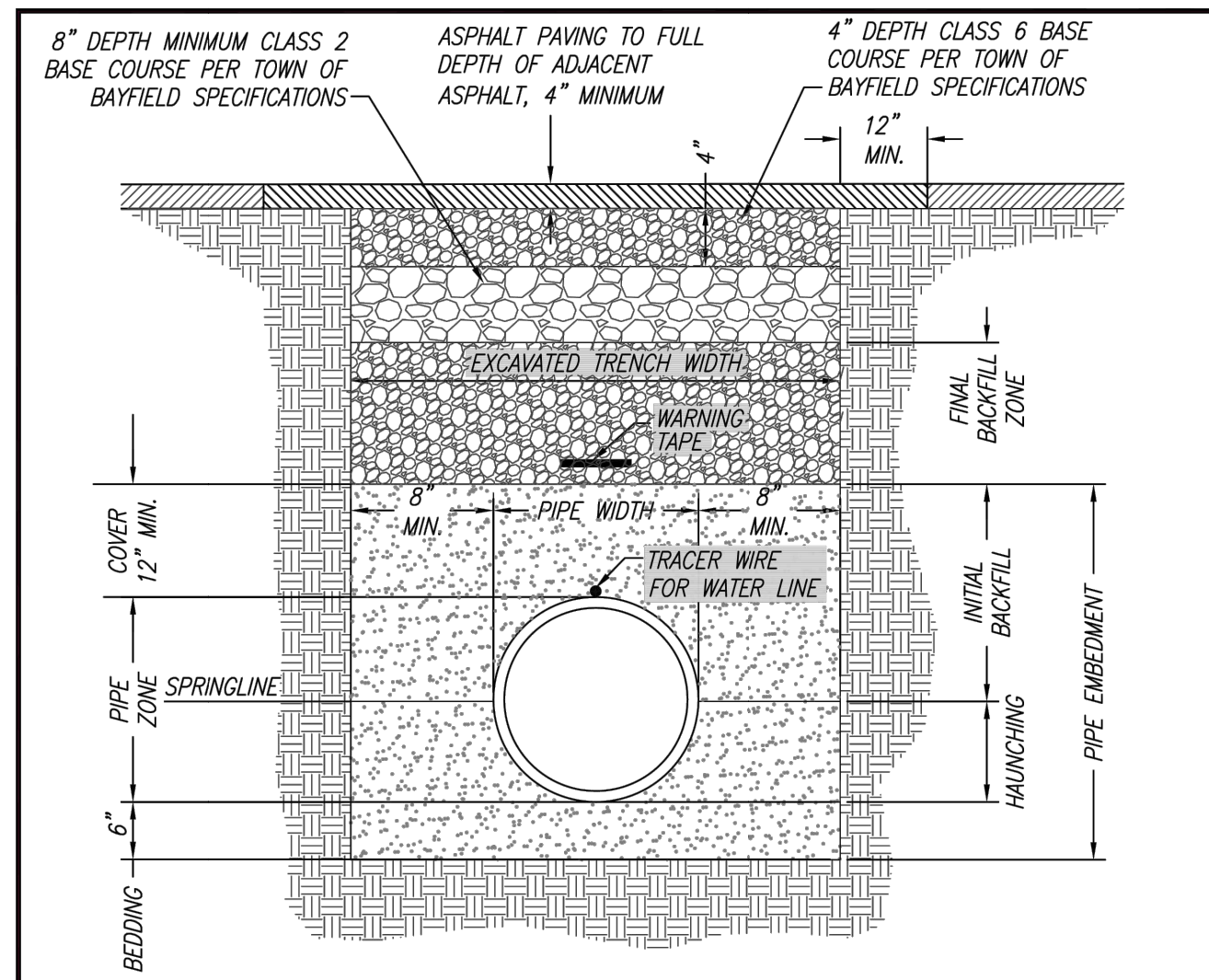
NOTE:
TYPICAL PAVEMENT SECTION SHOWN IS THE TOWN OF BAYFIELD MINIMUM PER SECTION 2.2.6.A OF THE INFRASTRUCTURE DESIGN STANDARDS. PRELIMINARY GEOTECHNICAL REPORT DID NOT RECOMMEND A PAVEMENT DESIGN BASED ON THE LACK OF TRAFFIC DATA. SECTION SHALL BE CONFIRMED OR MODIFIED BASED ON A FINAL SECTION RECOMMENDATION FROM TRAUTNER GEOTECH WHO WILL PERFORM TESTING FOLLOWING THE 2023 IRRIGATION SEASON. PST ASSUMES NO RESPONSIBILITY FOR THE LONGEVITY OF THIS SECTION.

REVISIONS:

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DATE: 09/14/2023
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TYPICAL PAVED AREA TRENCH SECTION
NOT TO SCALE

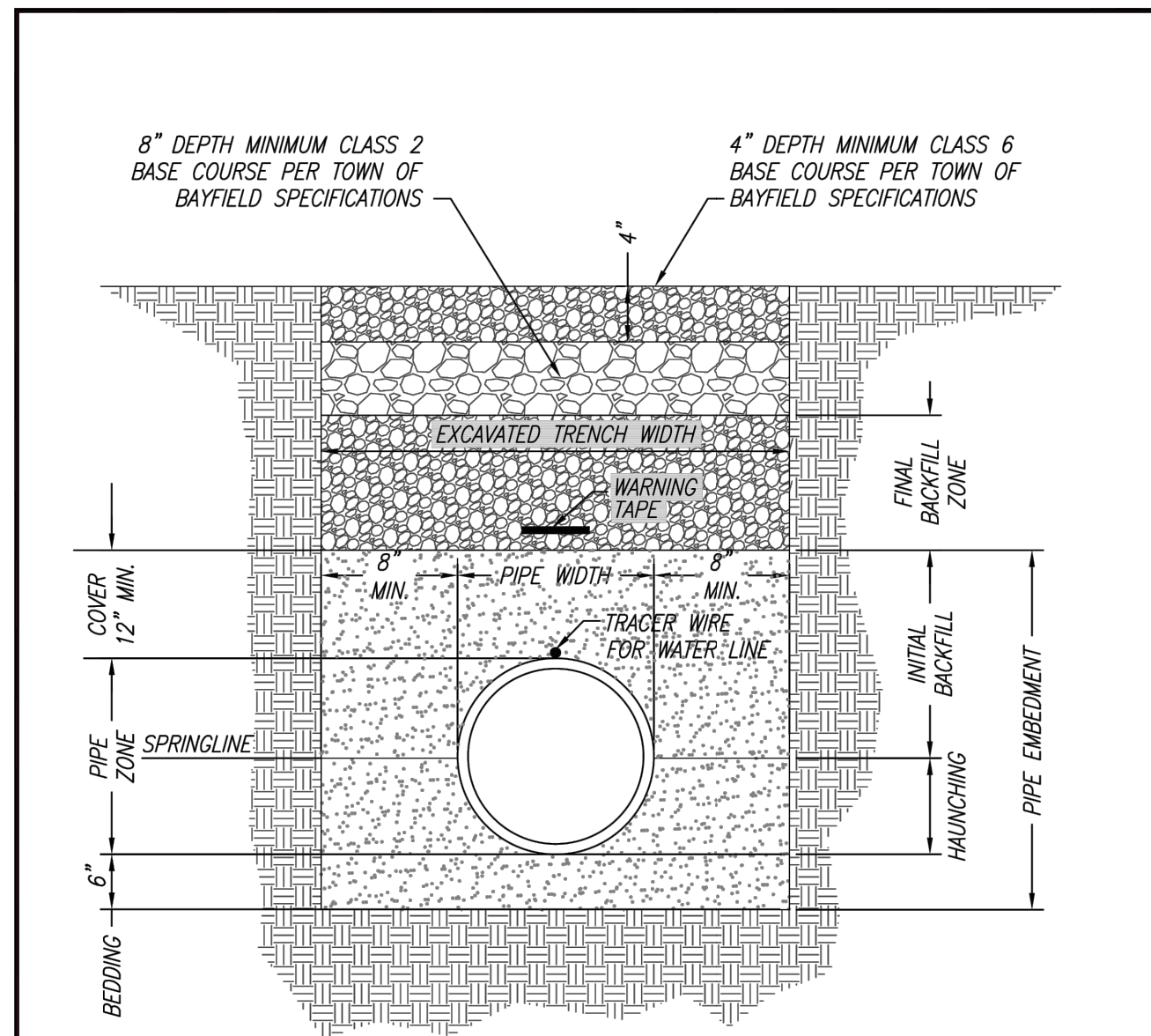
NOTES:

1. ALL EMBEDMENT MATERIAL FOR PIPE (BEDDING, HAUNCHING & INITIAL BACKFILL) TO CONFORM TO THE TOWN OF BAYFIELD STANDARDS AND SPECIFICATIONS.
2. DENSITY TESTING TO BE IN ACCORDANCE WITH TOWN OF BAYFIELD REQUIREMENTS.
3. MINIMUM TRENCH WIDTH TO BE IN ACCORDANCE WITH TOWN OF BAYFIELD SPECIFICATIONS.
4. ASPHALT SURFACES SHALL BE SAW-CUT AN ADDITIONAL 8" TO 12" BEYOND THE PROPOSED TRENCH SIDEWALLS TO ALLOW THE PATCH TO BE SUPPORTED ON ADJACENT UNDISTURBED MATERIAL. ASPHALT PATCHING WILL BE PERFORMED WITH "HOT-MIX" ASPHALT CONFORMING TO A C.D.O.T. "SX" OF "S" GRADATION. ASPHALT WILL BE COMPACTED TO 92% TO 96% OF THE MAXIMUM THEORETICAL DENSITY.
5. THE FINAL BACKFILL ZONE TO BE IN ACCORDANCE WITH TOWN OF BAYFIELD SPECIFICATIONS. FINAL BACKFILL MATERIAL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DEFINED BY ASTM D1557 (MODIFIED PROCTOR). FIELD DENSITY TESTS WILL BE PERFORMED ON FINAL BACKFILL MATERIAL AT 200 FT. INTERVALS WITH TESTS PERFORMED AT MID-DEPTH AND FINAL GRADE OF THE FINAL BACKFILL ZONE. THE FIELD DENSITY TESTS SHALL BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW.

CONSTRUCTION STANDARDS

TRENCH DETAIL

TOWN OF BAYFIELD, CO
STANDARD DETAIL No. T-01
SHEET 1 OF 2

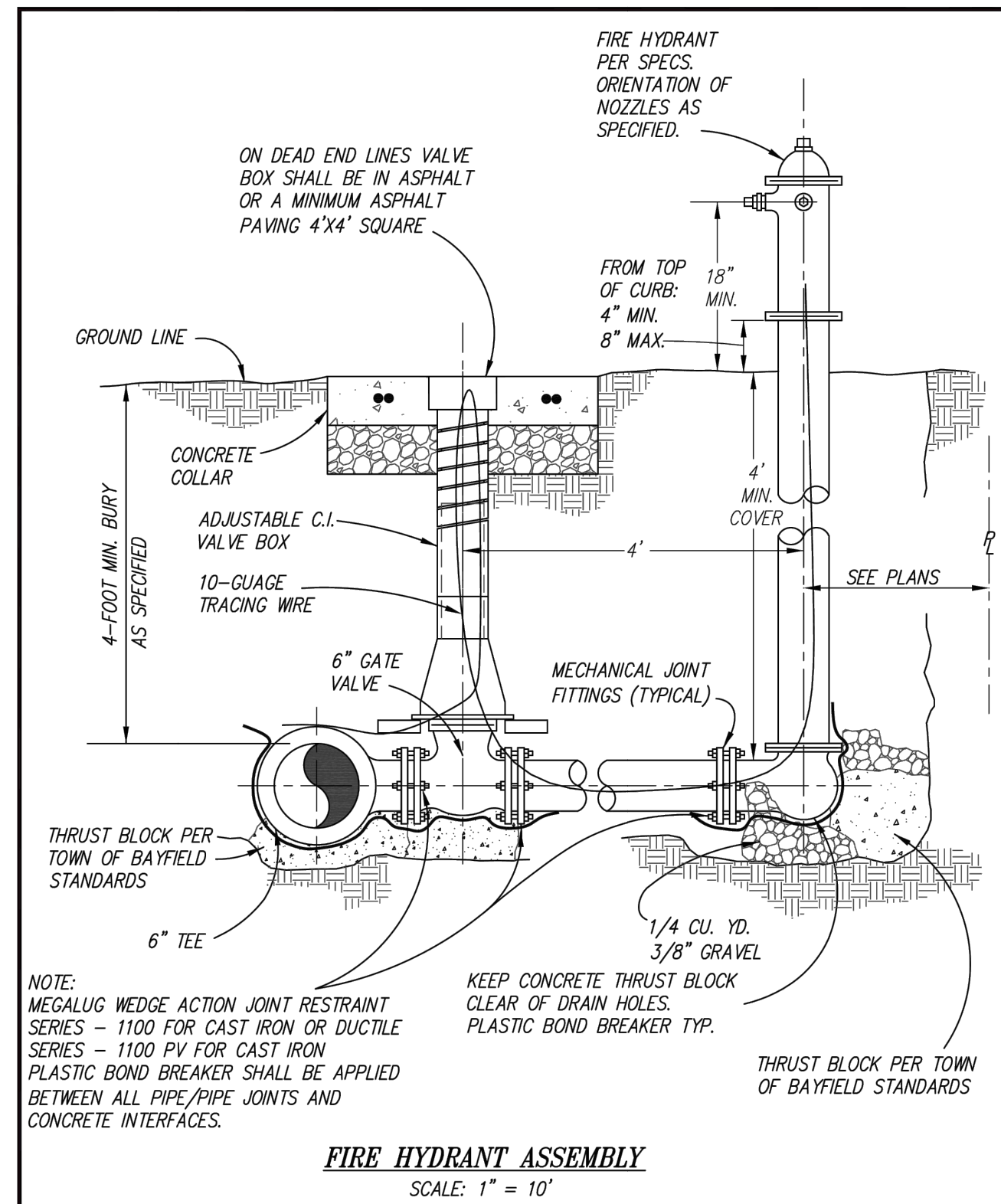


TYPICAL GRAVEL SURFACE TRENCH SECTION
NOT TO SCALE

CONSTRUCTION STANDARDS

TRENCH DETAIL

TOWN OF BAYFIELD, CO
STANDARD DETAIL No. T-01
SHEET 2 OF 2

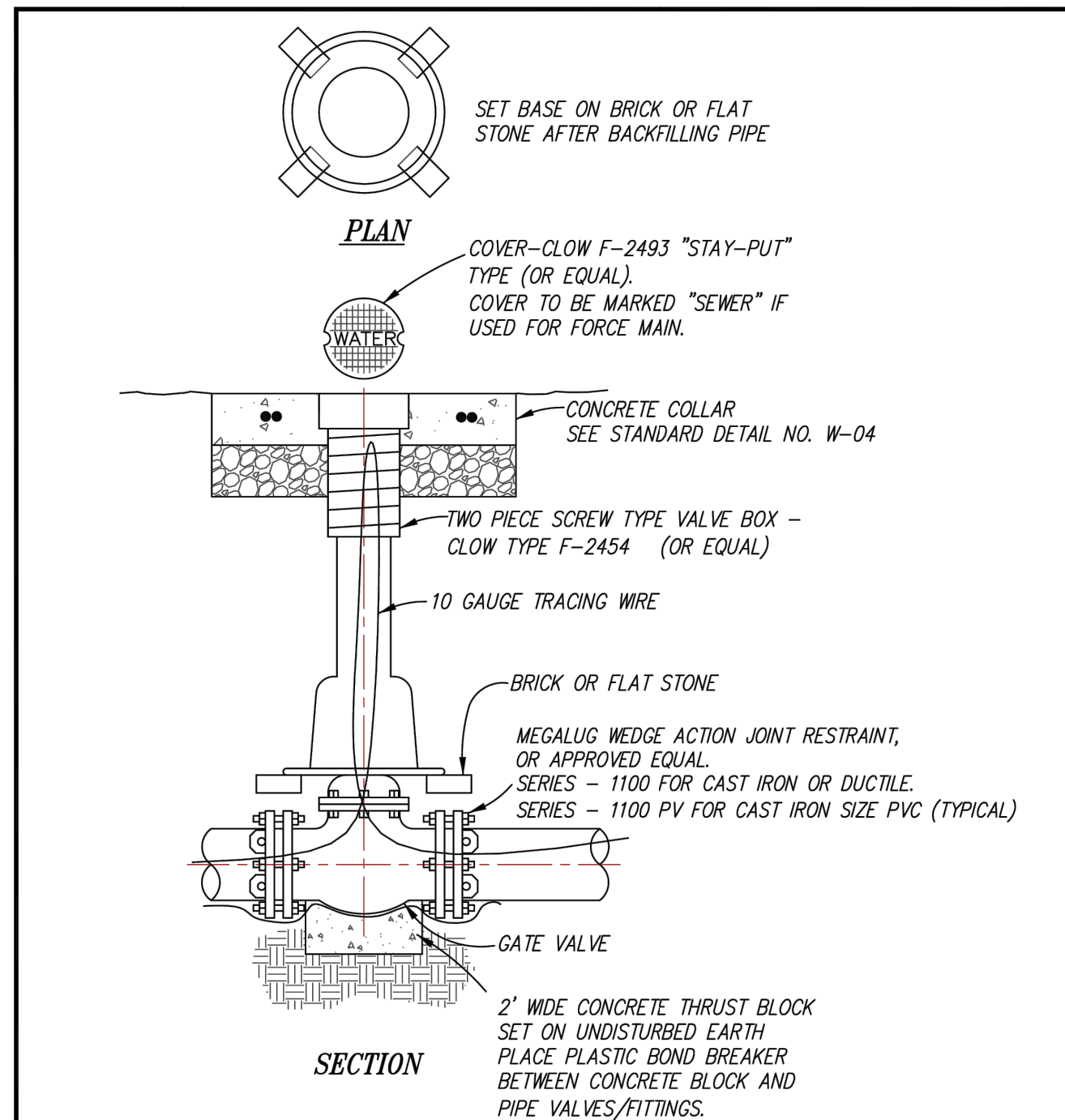


FIRE HYDRANT ASSEMBLY
SCALE: 1" = 10'

CONSTRUCTION STANDARDS

FIRE HYDRANT DETAIL

TOWN OF BAYFIELD, CO
STANDARD DETAIL No. W-01
SHEET 1 OF 1

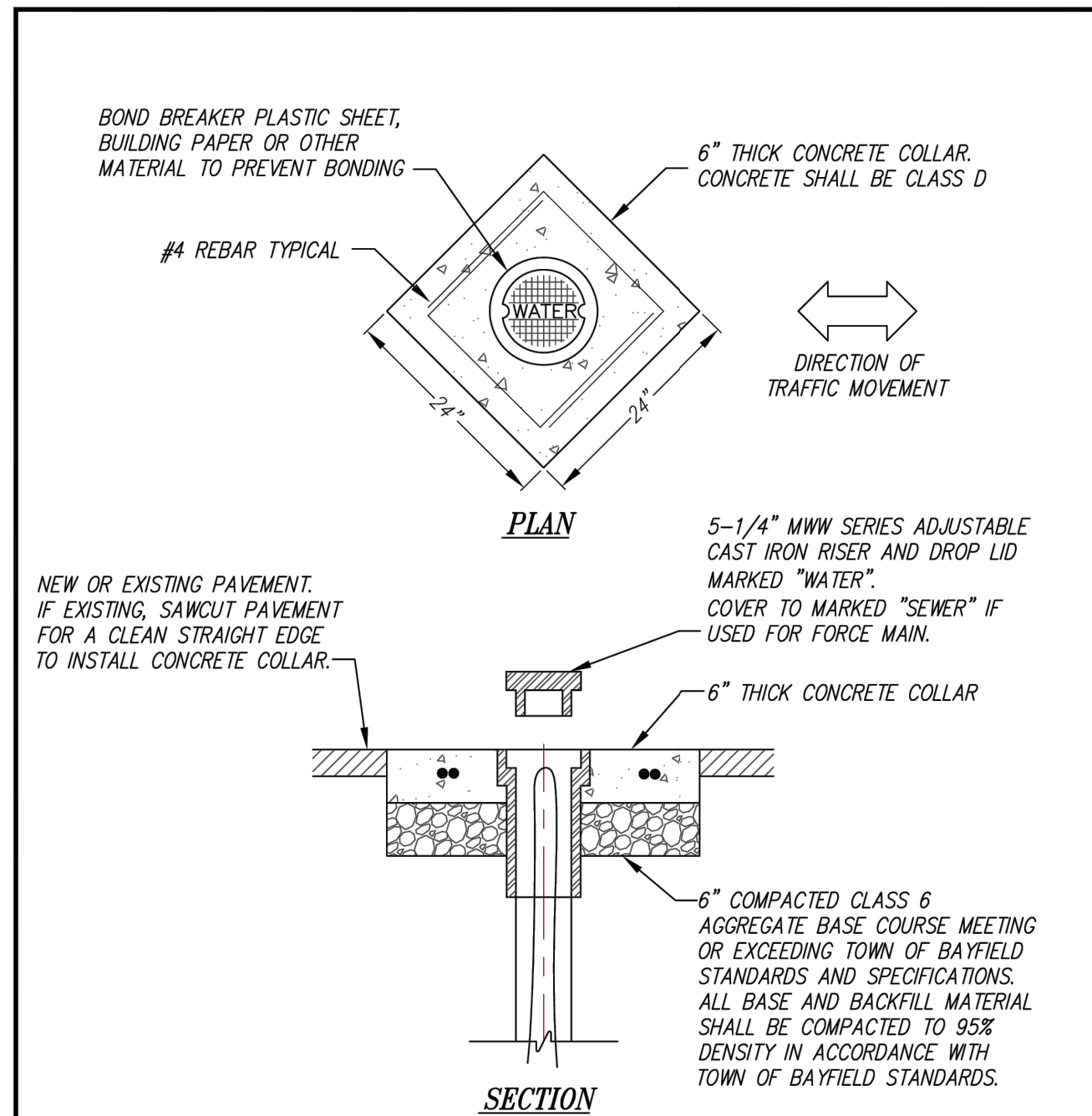


GATE VALVE INSTALLATION
NTS

CONSTRUCTION STANDARDS

GATE VALVE DETAIL

TOWN OF BAYFIELD, CO
STANDARD DETAIL No. W-02
SHEET 1 OF 1

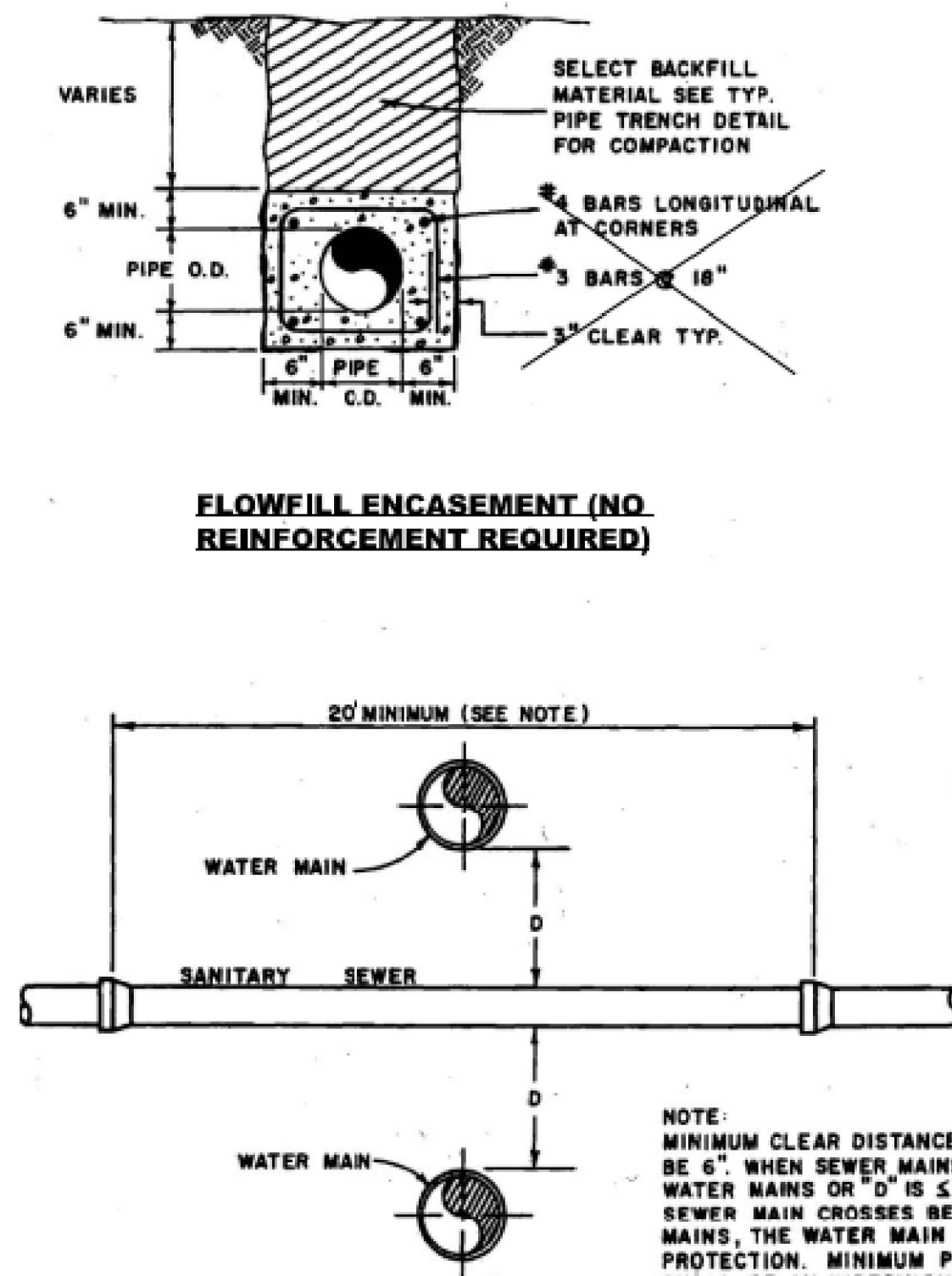


CONCRETE WATER VALVE COLLAR DETAIL
NOT TO SCALE

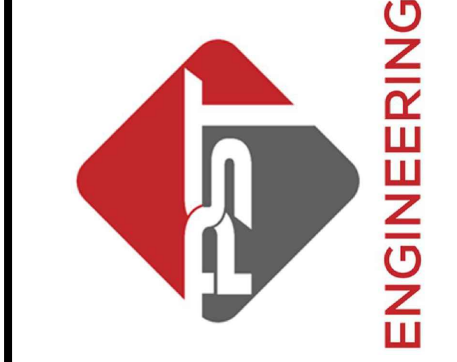
CONSTRUCTION STANDARDS

CONCRETE WATER VALVE COLLAR DETAIL

TOWN OF BAYFIELD, CO
STANDARD DETAIL No. W-04
SHEET 1 OF 1

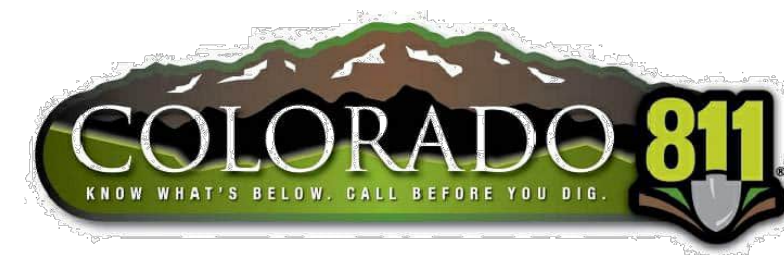
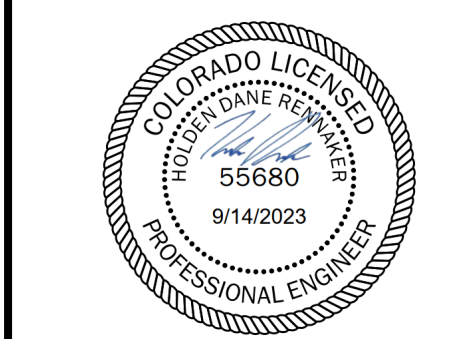


PIPED IRRIGATION - WATER CROSSING



| REVISIONS: | DATE | DESCRIPTION | SHEET |
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MEGALUGS, OR APPROVED EQUAL, ARE REQUIRED AT ALL FITTINGS

TEE **DEAD END** **BEND HORIZONTAL OR BOTTOM OF VERTICAL**

WYE **CROSS W/ DEAD END BRANCH**

TEE W/ DEAD END BRANCH **SECTION A-A**

NOTES:

- ALL JOINTS, PIPE, AND FITTINGS SHALL BE WRAPPED WITH PLASTIC BOND BREAKER AT CONCRETE INTERFACES.
- ALL THRUST BLOCKING SHALL BE CAST-IN-PLACE CONCRETE, CDOT CLASS B, TYPE II PORTLAND CEMENT, HAVING A MINIMUM YIELD STRENGTH OF 3,000 P.S.I.
- THRUST BLOCKING SHALL BE CAST AGAINST UNDISTURBED EARTH. FORMS SHALL BE USED AS REQUIRED TO OBTAIN ADEQUATE BEARING AREA AND TO CONFINE THE CONCRETE THRUST BLOCKING SHALL BEAR ON THE FITTING OR END CAP ONLY AND SHOULD NOT BE ALLOWED TO SPILL OVER THE JOINT OR AGAINST THE PIPE.

CONSTRUCTION STANDARDS **THRUST BLOCKS** TOWN OF BAYFIELD, CO
STANDARD DETAIL No. W-06

SHEET 1 OF 2

TABLE OF BEARING AREAS IN SQ. FT FOR CONCRETE THRUST BLOCKING

NOTE: MEGALUGS, OR APPROVED EQUAL, ARE REQUIRED UNLESS APPROVED BY TOWN ENGINEER

FOR 150 P.S.I. INTERNAL STATIC PRESSURE AND 2000 LBS. PER SQ. FT SOIL BEARING CAPACITY.

| PIPE SIZE | BENDS | | | | TEES | PLUGS |
|-----------|--------|-------|---------|---------|-------|-------|
| | 90° | 45° | 22 1/2° | 11 1/4° | | |
| 4 | 1.50 | 0.75 | 0.50 | 0.25 | 1.00 | 1.00 |
| 6 | 3.00 | 1.75 | 1.00 | 0.50 | 2.25 | 2.25 |
| 8 | 5.50 | 3.00 | 1.50 | 1.00 | 3.75 | 3.75 |
| 10 | 8.50 | 4.50 | 2.50 | 1.50 | 6.00 | 6.00 |
| 12 | 12.00 | 6.50 | 3.50 | 1.75 | 8.50 | 8.50 |
| 14 | 16.50 | 9.00 | 4.50 | 2.25 | 11.50 | 11.50 |
| 16 | 21.50 | 11.50 | 6.00 | 3.00 | 15.00 | 15.00 |
| 18 | 27.00 | 14.75 | 7.50 | 3.75 | 19.00 | 19.00 |
| 20 | 33.50 | 18.00 | 9.25 | 4.75 | 23.50 | 23.50 |
| 24 | 48.00 | 26.00 | 13.25 | 6.75 | 34.00 | 34.00 |
| 30 | 75.25 | 40.75 | 20.75 | 10.50 | 53.00 | 53.00 |
| 36 | 108.25 | 58.50 | 30.00 | 15.00 | 76.50 | 76.50 |

AREAS GIVEN IN TABLE ARE BASED UPON AN INTERNAL STATIC PRESSURE OF 150 P.S.I. AND A SOIL BEARING CAPACITY OF 2000 LBS. PER SQ. FT. BEARING AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING THE TABULATED VALUES BY A CORRECTION FACTOR "F".

$F = \frac{\text{ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS.}}{\text{ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.}}$

EXAMPLE: TO FIND BEARING AREA FOR 8" - 90° BEND WITH A STATIC INTERNAL PRESSURE OF 100 P.S.I. AND WITH A SOIL BEARING CAPACITY OF 3000 LBS. PER SQ. FT.

$F = 1:3 = .33$ TABULATED VALUE = 550 SQ. FT.
 $0.33 \times 550 = 1.82 = 2$ SQ. FT. OR 2 FT. LONG BY 1 FT. HIGH

CONSTRUCTION STANDARDS **THRUST BLOCKS** TOWN OF BAYFIELD, CO
STANDARD DETAIL No. W-06

SHEET 2 OF 2

NOTES:

- CONTRACTOR TO CONTACT GEOTECHNICAL ENGINEER FOR ACTUAL SOIL BEARING CAPACITY.
- TEST PRESSURE OF 75 PSI HAS BEEN APPROXIMATED BASED ON THE TOWN OF BAYFIELD PUBLIC WORKS RECENT HYDRANT TESTS.

GENERAL NOTES:

- CONCRETE MANHOLES SHALL BE PER SPECIFICATIONS.
- ALL CEMENT USED IN MORTAR, CONCRETE BASES, GRADE RINGS, RISER SECTIONS, CONES AND FLAT TOPS, FOR SANITARY SEWER MANHOLES, SHALL BE PER SPECIFICATIONS.
- MANHOLE RISER SECTION, CONES, FLAT TOPS AND GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE CONFORMING TO SPECIFICATIONS.
- FOR PIPE SIZES GREATER THAN 15", A 60" MANHOLE WILL BE REQUIRED.
- ALL SANITARY SEWER MANHOLE COVERS SHALL BE VENTED AND HAVE THE WORD "SEWER" CAST INTO THE LID.
- COMPACT BACKFILL TO 95%.
- ALL LIFTING HOLES AND GAPS BETWEEN MANHOLE RINGS AND LID, ETC., SHOULD BE FILLED WITH NON-SHRINK GROUT.

CONSTRUCTION STANDARDS **STANDARD MANHOLE** TOWN OF BAYFIELD, CO
STANDARD DETAIL NO. S-01

SHEET 1 OF 1

"T" JUNCTION **"J" JUNCTION**

CONTINUOUS

GENERAL NOTES:

- CONCRETE SHALL BE PER SPECIFICATIONS.
- ALL CEMENT USED IN MORTAR, CONCRETE BASES, GRADE RINGS, RISER SECTIONS, CONES AND FLAT TOPS, FOR SANITARY SEWER MANHOLES, SHALL BE PER SPECIFICATIONS.
- MANHOLE RISER SECTION, CONES, FLAT TOPS AND GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE CONFORMING TO SPECIFICATIONS.
- DROP MANHOLE SHALL BE PROVIDED WHERE SEWER LINE ENTERS MH 24" OR MORE ABOVE LOWEST INVERT OF MH.
- TOP OF BENCH SHALL BE SLOPED 1/2" PER FOOT.
- PIPE SHALL BE JOINED TO MANHOLES WITH A-LOK 2-LOK, KOR-N-SEAL OR APPROVED EQUAL.

CONSTRUCTION STANDARDS **MANHOLE BASES** TOWN OF BAYFIELD, CO
STANDARD DETAIL No. S-04

SHEET 1 OF 1

PLAN VIEW

SECTION A-A'

CONCRETE MANHOLE COLLAR DETAIL

NOT TO SCALE

CONSTRUCTION STANDARDS **CONCRETE MANHOLE COLLAR DETAIL** TOWN OF BAYFIELD, CO
STANDARD DETAIL No. S-05

SHEET 1 OF 1

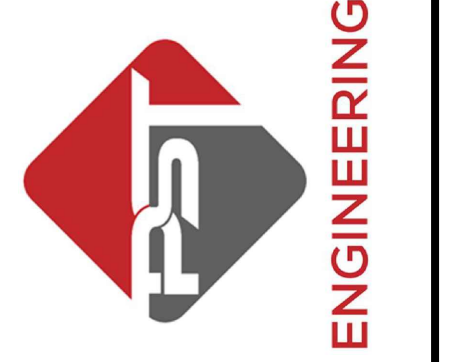
SECTION B-B

GENERAL NOTES:

- ALL CEMENT USED IN MORTAR, CONCRETE BASES, GRADE RINGS, RISER SECTIONS, CONES AND FLAT TOPS, FOR SANITARY SEWER MANHOLES, SHALL BE PER SPECIFICATIONS.
- MANHOLE RISER SECTION, CONES, FLAT TOPS AND GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE PER SPECIFICATIONS.
- ALL LIFTING HOLES AND GAPS BETWEEN MANHOLE RINGS AND LID, ETC., SHOULD BE FILLED WITH NON-SHRINK GROUT.
- STANDARD M.H. RING AND COVER (NEENAH No. R-1772 OR APPROVED EQUAL).
- FRAME AND COVER SHALL HAVE MACHINED BEARING SURFACES.

CONSTRUCTION STANDARDS **STANDARD CAST IRON MANHOLE RING & COVER** TOWN OF BAYFIELD, CO

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2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

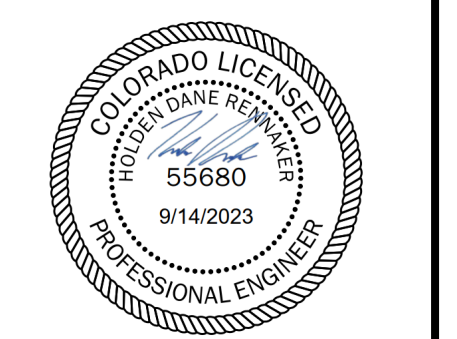


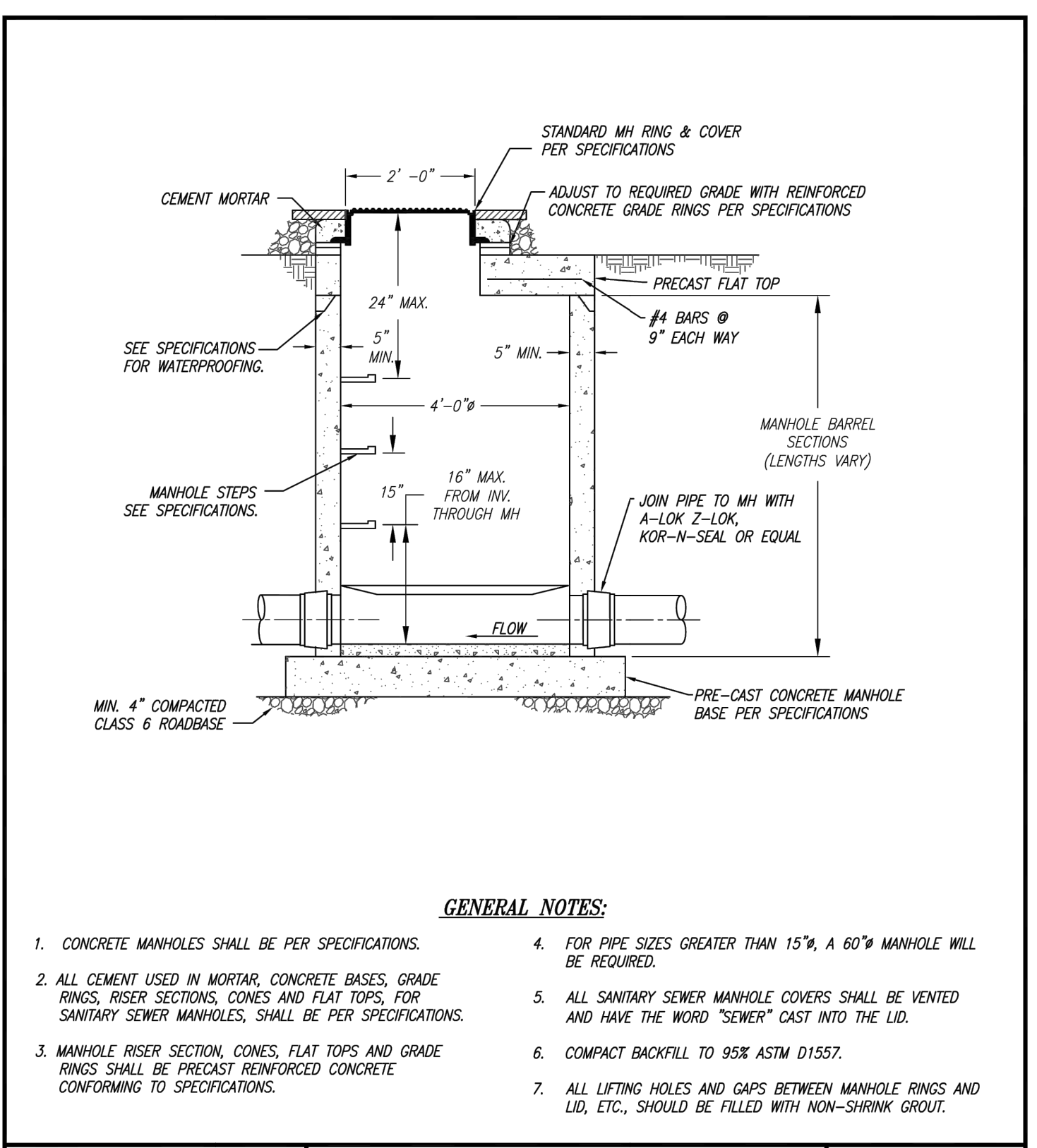
HAGA PROPERTY MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
DETAILS 2

REVISIONS:

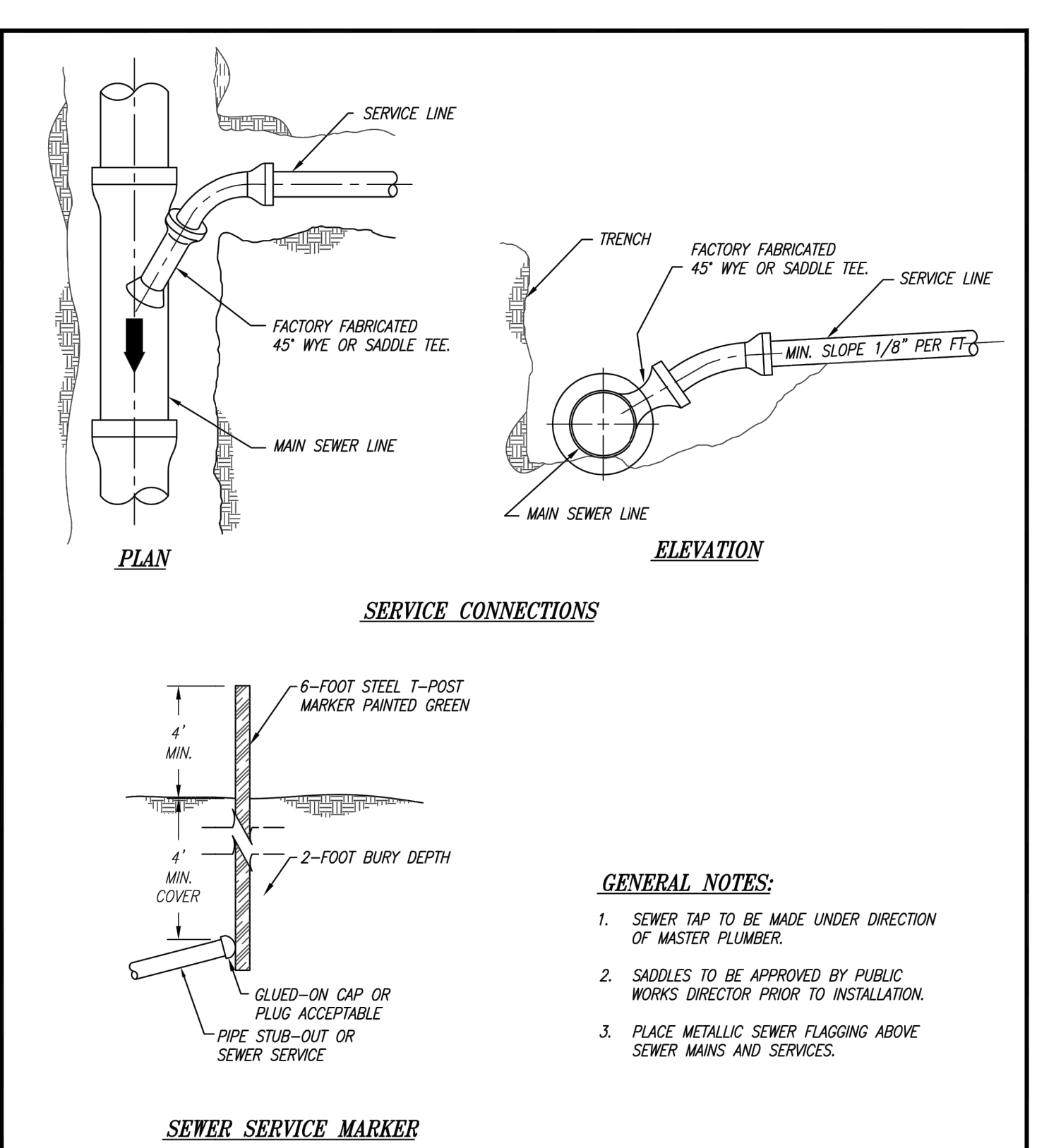
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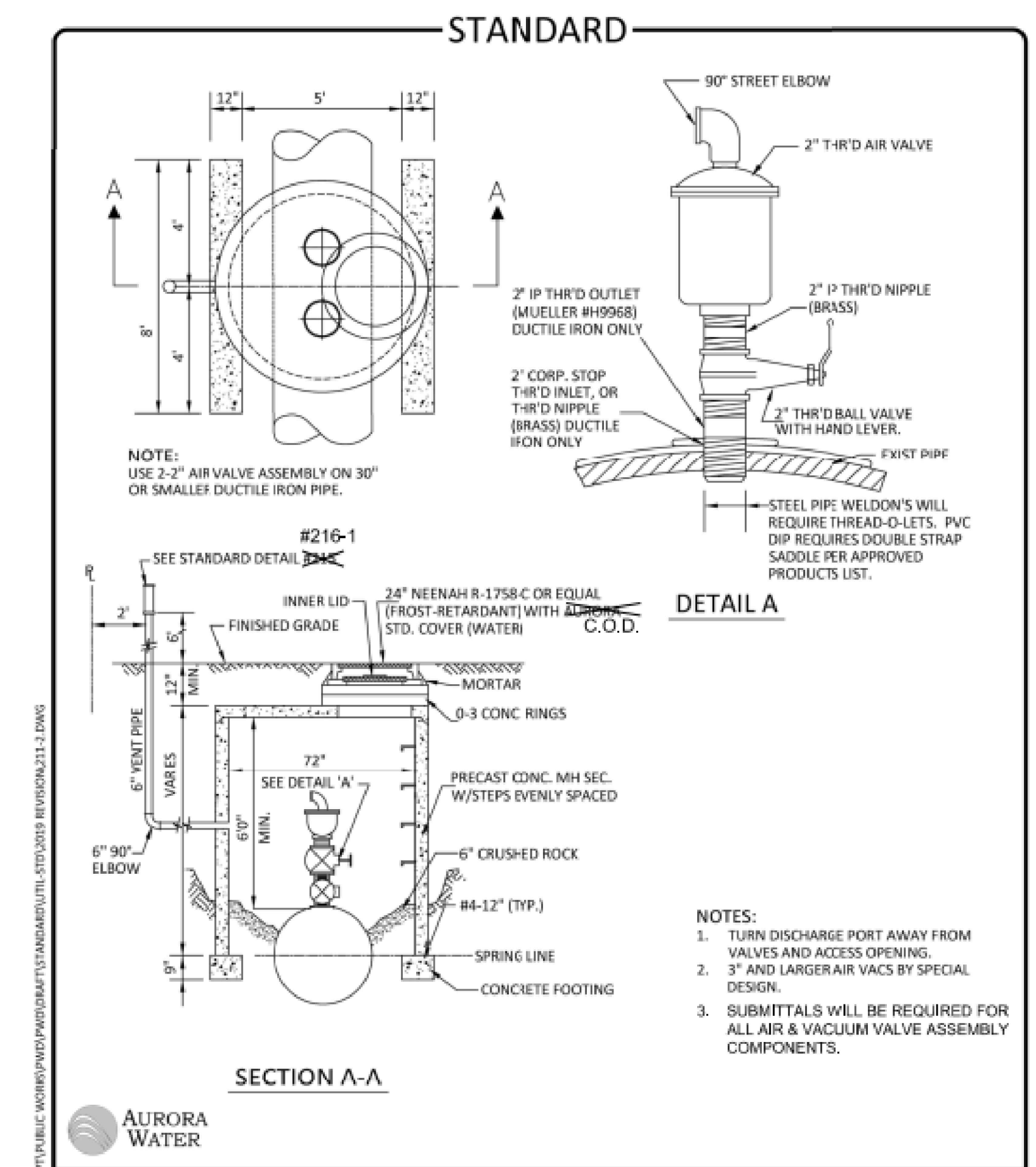




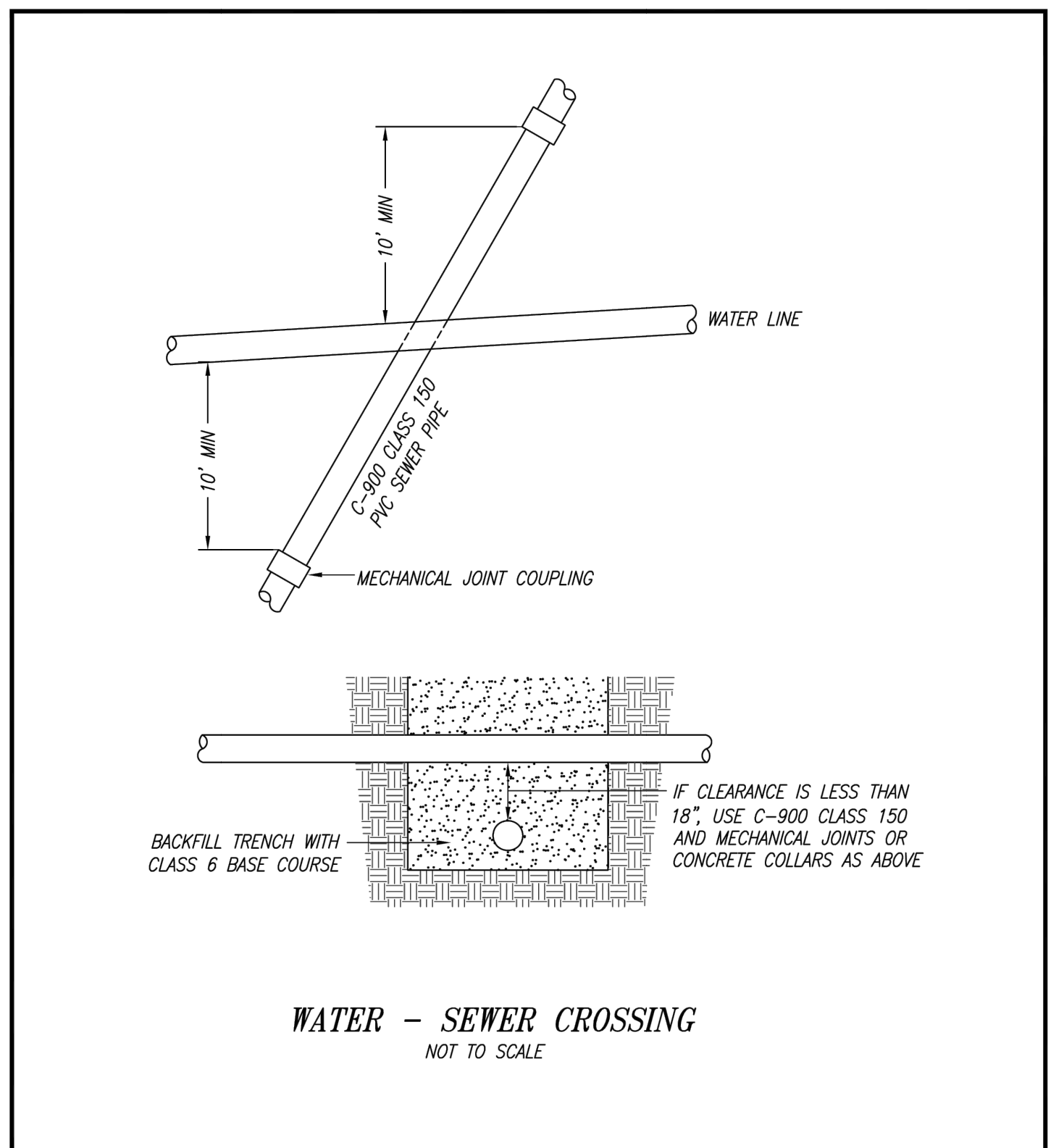
CONSTRUCTION STANDARDS STANDARD SHALLOW MANHOLE SHEET 1 OF 1 TOWN OF BAYFIELD, CO STANDARD DETAIL NO. S-02



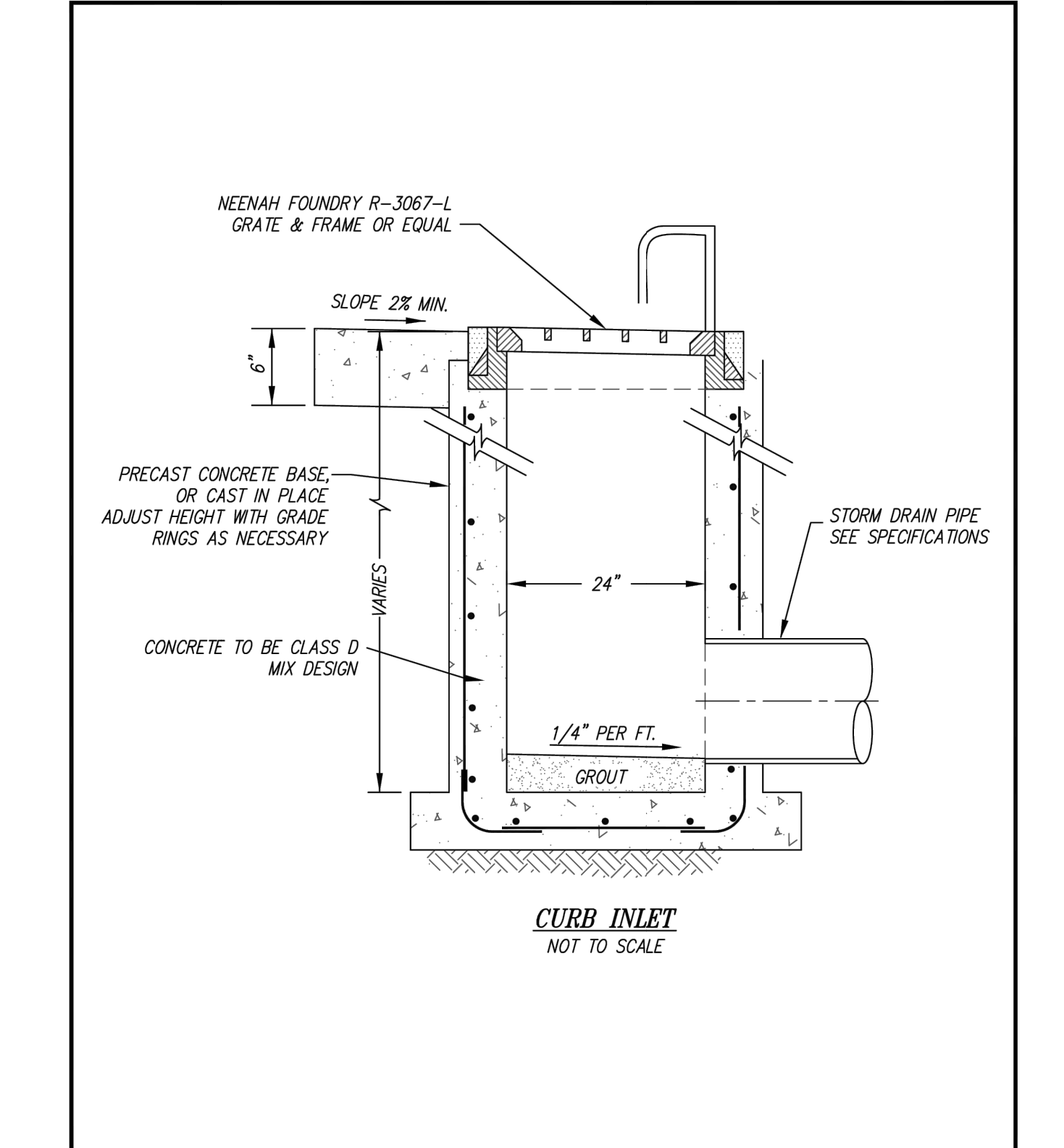
CONSTRUCTION STANDARDS SERVICE CONNECTION & SEWER SERVICE MARKER SHEET 1 OF 1 TOWN OF BAYFIELD, CO STANDARD DETAIL NO. S-07



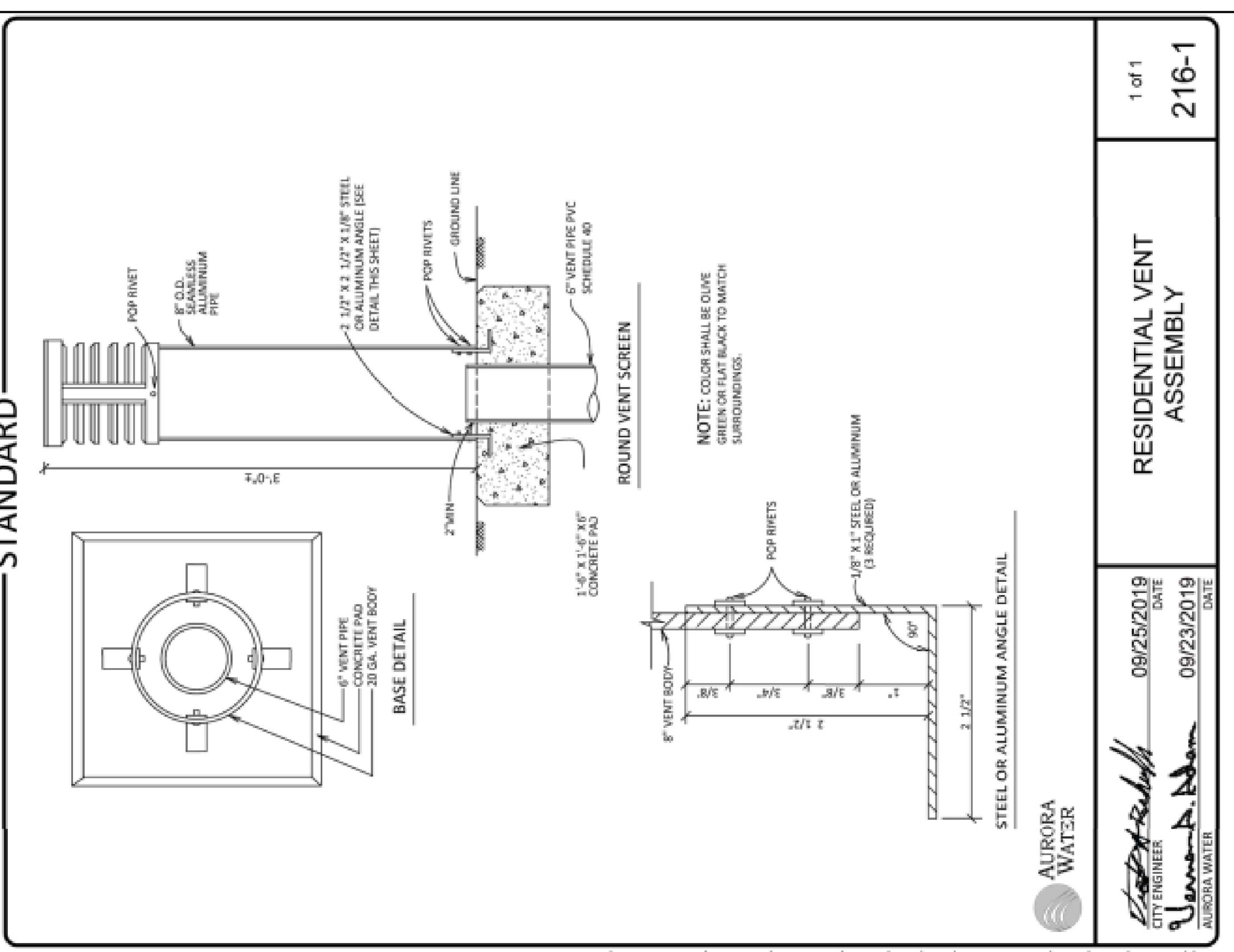
CONSTRUCTION STANDARDS AIR & VACUUM VALVE INSTALLATION 2 of 3 211-2 TOWN OF BAYFIELD, CO STANDARD DETAIL NO. S-08



CONSTRUCTION STANDARDS WATER LINE - SEWER LINE CROSSING SHEET 1 OF 1 TOWN OF BAYFIELD, CO STANDARD DETAIL NO. S-09



CONSTRUCTION STANDARDS INLET DETAIL 2 SHEET 1 OF 1 TOWN OF BAYFIELD, CO STANDARD DETAIL NO. D-02



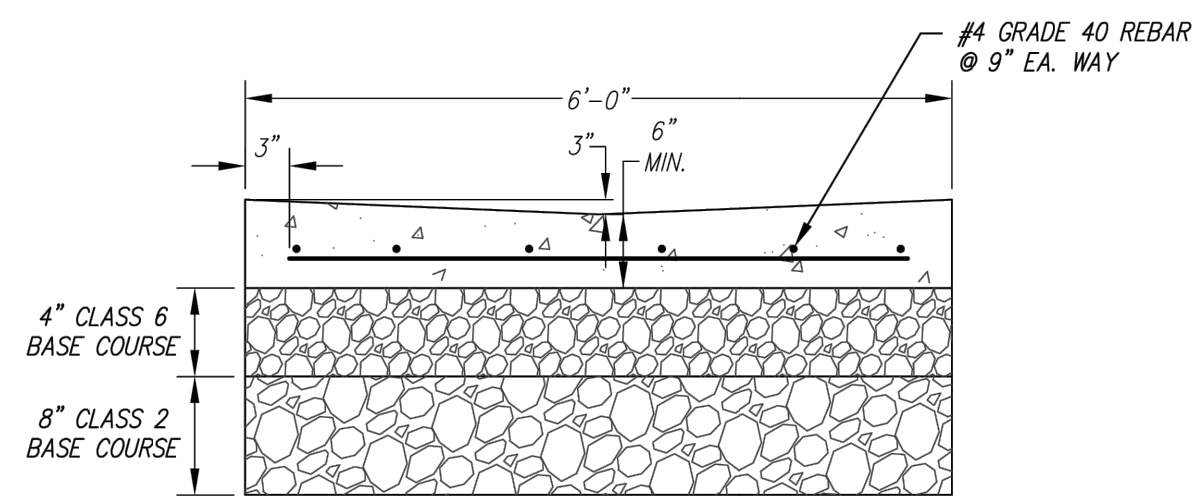
CONSTRUCTION STANDARDS RESIDENTIAL VENT ASSEMBLY 1 of 1 216-1 TOWN OF BAYFIELD, CO STANDARD DETAIL NO. S-10

REVISIONS:

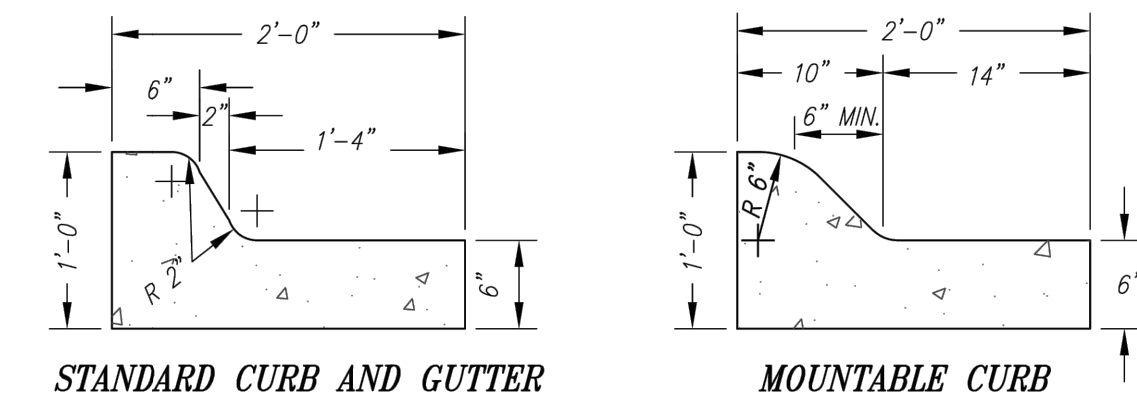
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VALLEY GUTTER SECTION



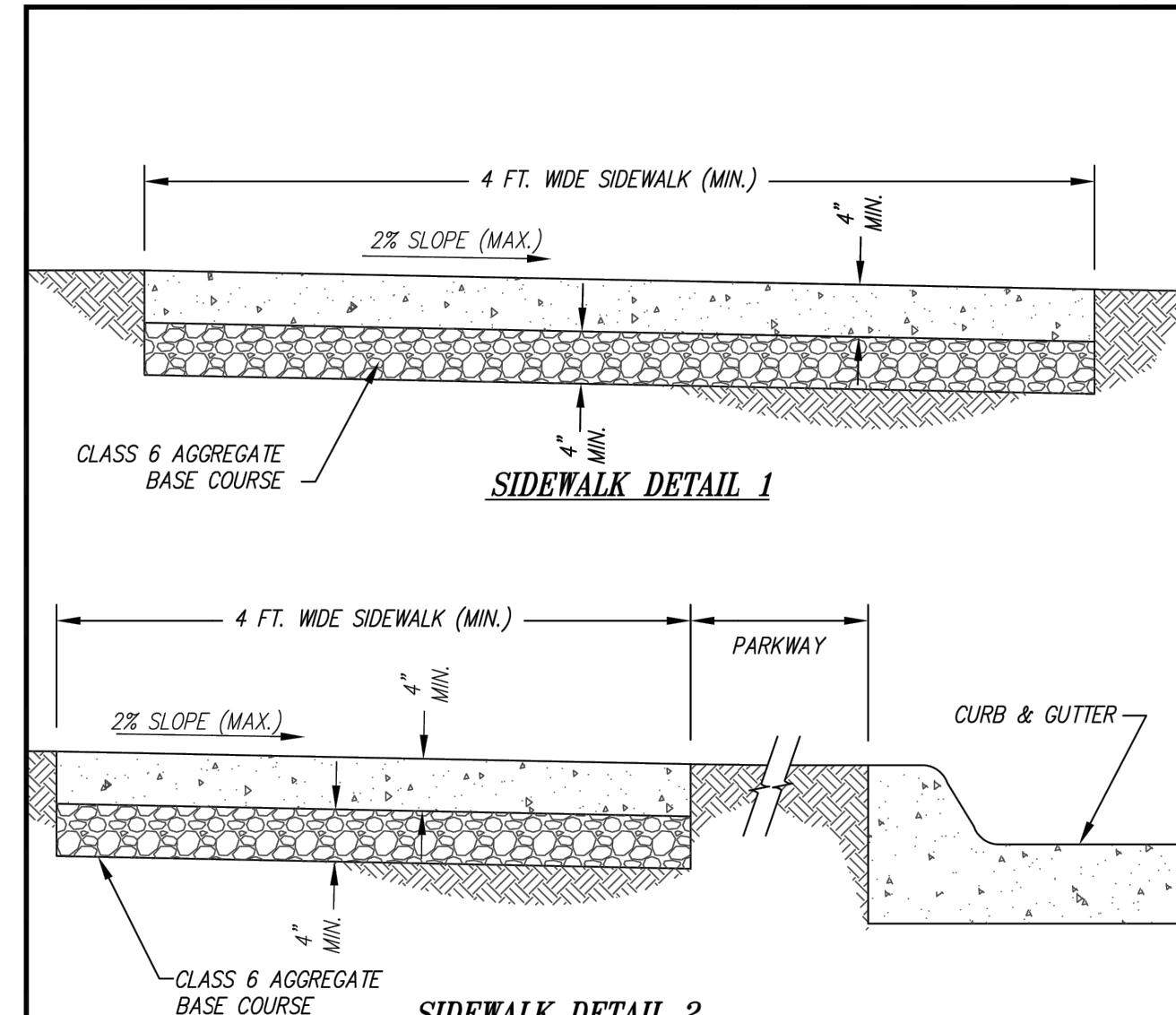
STANDARD CURB AND GUTTER

MOUNTABLE CURB

- NOTES:
- FOR ALL CURBING AND/OR GUTTERS, PROVIDE CONTRACTION JOINTS AT 10' O.C. ALSO PROVIDE 1/2" PREFORMED EXPANSION JOINTS AT 50' O.C. ADJACENT TO BUILDING AND WALLS, AT CURB RETURNS AND AT EACH SIDE OF DRIVEWAYS.
 - BASE UNDER CURB AND GUTTER WILL BE 4" CLASS 6 AND 8" CLASS 2.
 - CONCRETE SHALL BE A CLASS B MIX DESIGN.
 - GUTTER CROSS SLOPES SHALL BE 1/2 IN./FT. WHEN DRAINING AWAY FROM THE CURB, AND 1 IN./FT. WHEN DRAINING TOWARD THE CURB.

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| CONSTRUCTION STANDARDS | CURB & GUTTER DETAILS | TOWN OF BAYFIELD, CO STANDARD DETAIL No. C-01 |
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SHEET 1 OF 1



SIDEWALK DETAIL 1

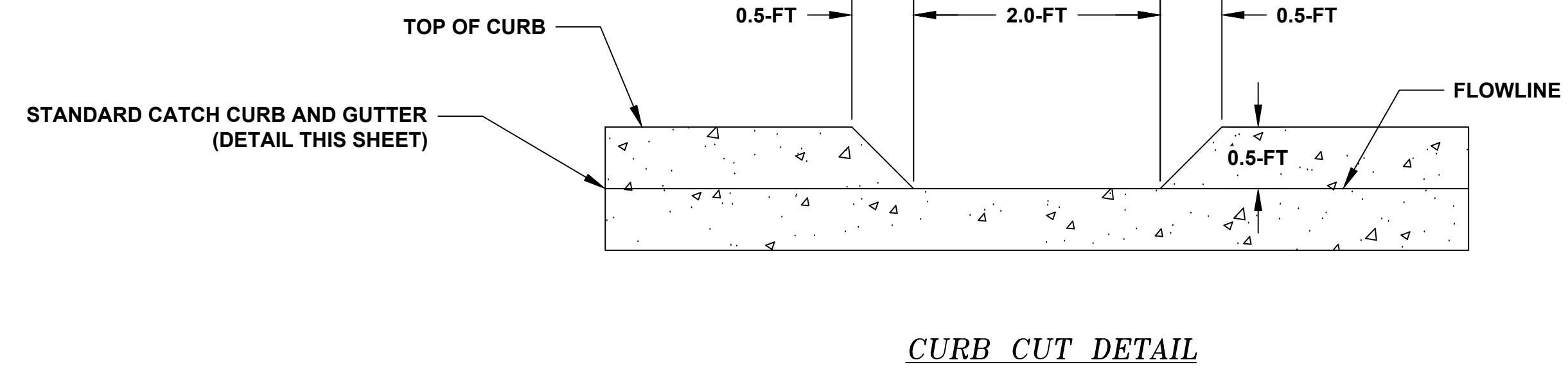
SIDEWALK DETAIL 2

SCALE: 1" = 1'-0"

- NOTE:
- SIDEWALK EXPANSION JOINTS TO BE PLACED AT 50' INTERVALS.
 - SIDEWALK CONTRACTION JOINTS NOT TO EXCEED 5' INTERVALS, AND TO ALIGN WITH CURB & GUTTER CONTRACTION JOINTS.

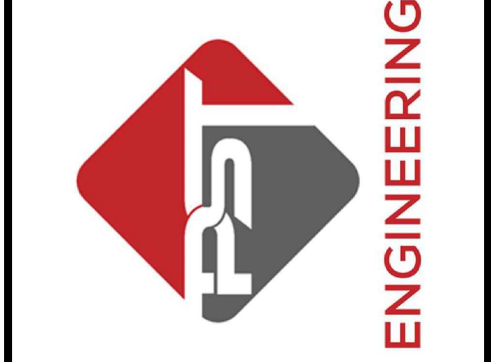
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SHEET 1 OF 1



CURB CUT DETAIL

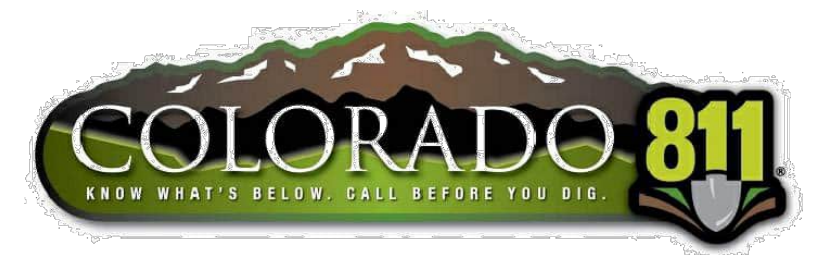
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2615 MAIN AVE. SUITE 209
DURANGO, CO 81301
970-403-5492

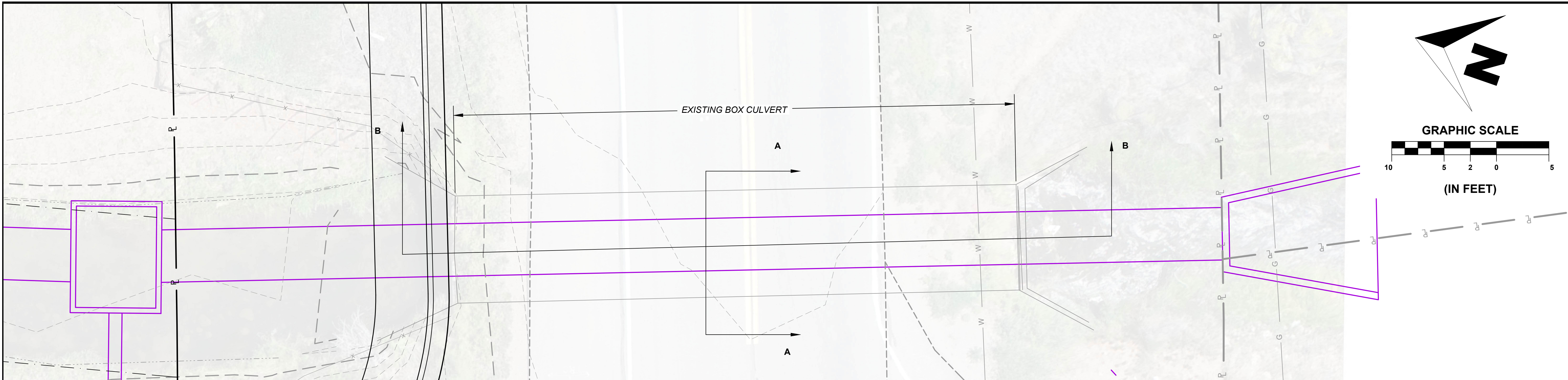


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BAYFIELD, CO 81122
DETAILS 4

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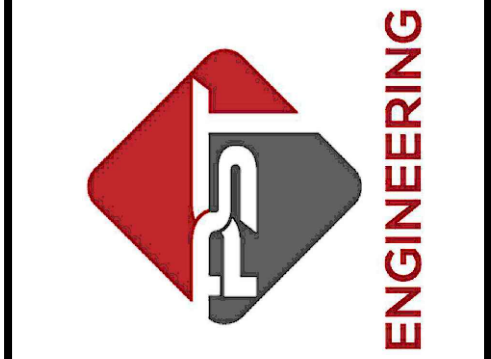
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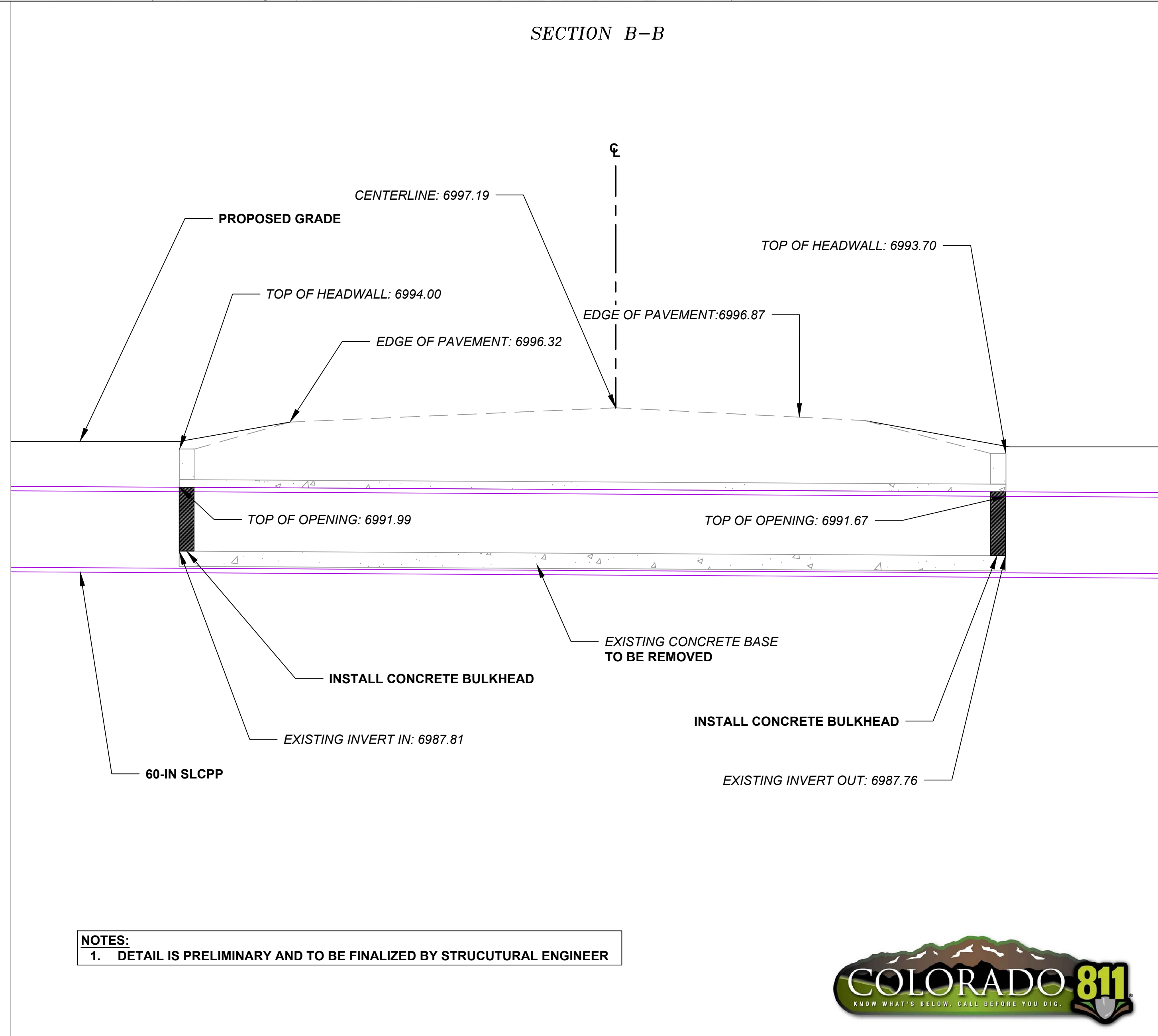
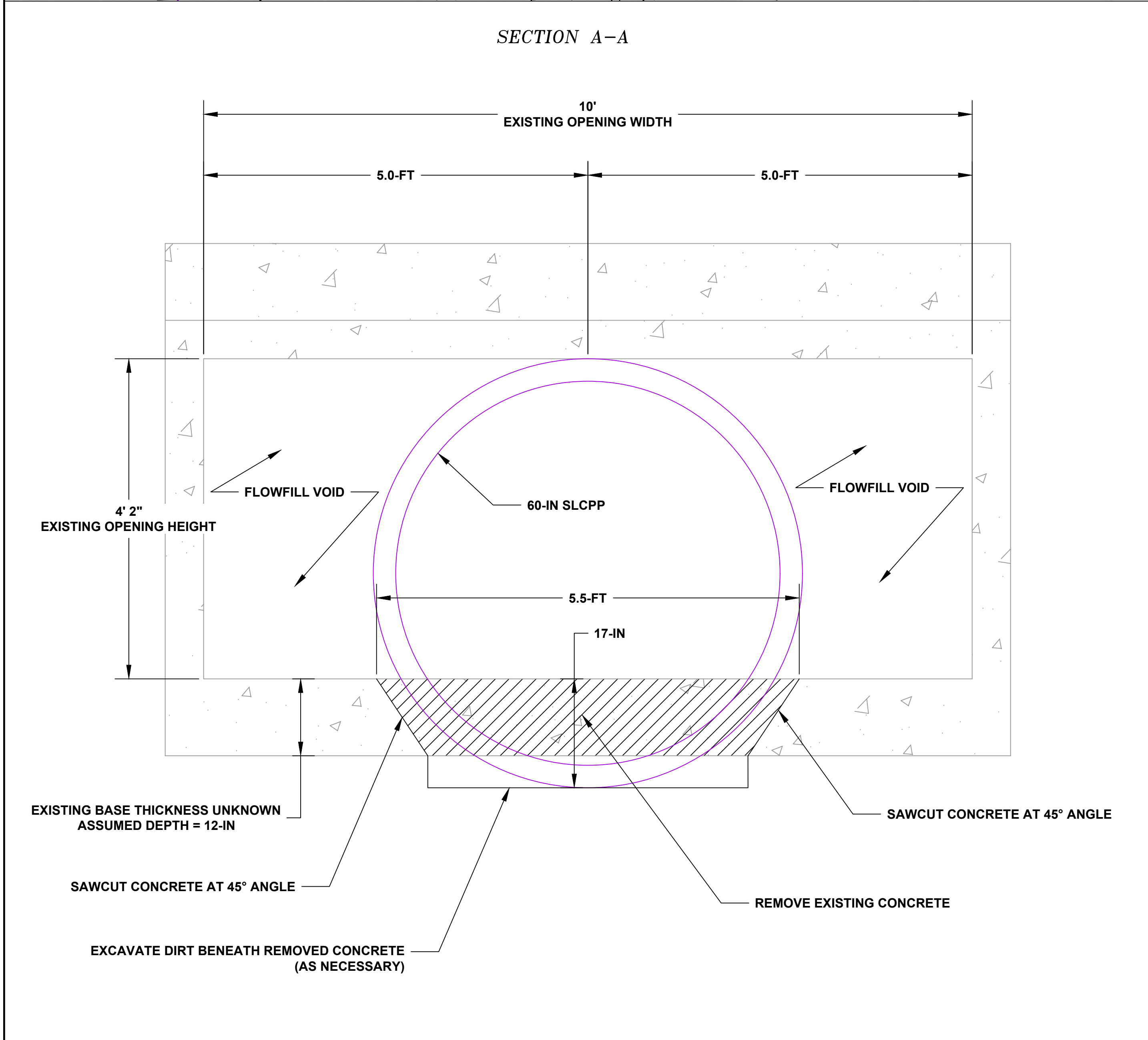


SHEET
49 OF **49**

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DURANGO, CO 81301
970-403-5492



HAGA PROPERTY
MASTER PLAN
2107 BAYFIELD PARKWAY
BAYFIELD, CO 81122
BOX CULVERT CROSSING
DETAIL



NOTES:
1. DETAIL IS PRELIMINARY AND TO BE FINALIZED BY STRUCTURAL ENGINEER

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