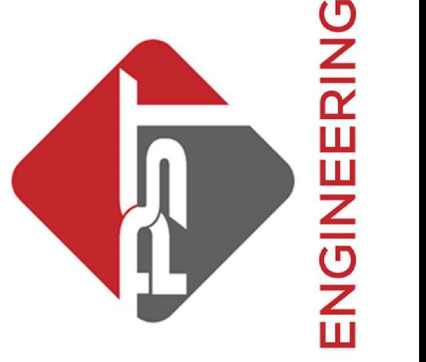


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970-403-5492

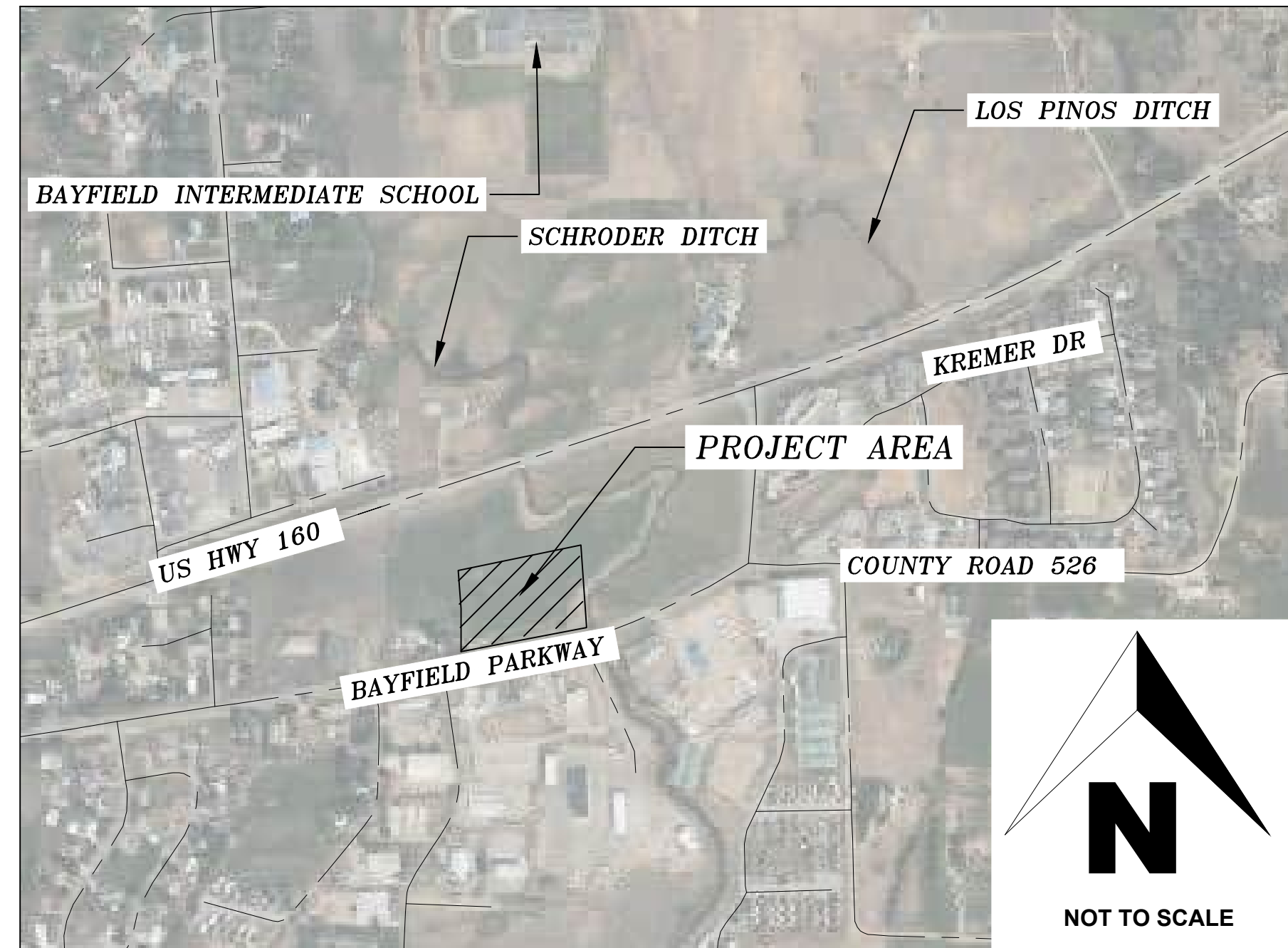


HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
COVER SHEET

# HAGA PROPERTY DEVELOPMENT PHASE 1 2107 BAYFIELD PARKWAY BAYFIELD, CO 81122

## LEGEND

EXISTING FEATURES		PROPOSED FEATURES	
	PROPERTY LINE		PROPERTY LINE
	EASEMENT		EASEMENT
	RIGHT OF WAY		RIGHT OF WAY
	WATERLINE		WATERLINE
	SANITARY SEWER		SANITARY SEWER
	STORM DRAIN		STORM DRAIN
	IRRIGATION LINE		IRRIGATION LINE
	UNDERGROUND GAS		UNDERGROUND GAS
	UNDERGROUND TELEPHONE		UNDERGROUND TELEPHONE
	UNDERGROUND FIBER		UNDERGROUND FIBER
	UNDERGROUND ELECTRIC		UNDERGROUND ELECTRIC
	SWALE		SWALE
	POND		POND
	FENCE		CONCRETE
	WATER STRUCTURES		RIP RAP PROTECTION
	SANITARY STRUCTURES		WATER STRUCTURES
	STORM STRUCTURES		SANITARY STRUCTURES
	TREE		STORM STRUCTURES
	EXISTING MINOR CONTOUR		TREE
	EXISTING MAJOR CONTOUR		PROPOSED MINOR CONTOUR
			PROPOSED MAJOR CONTOUR



PROJECT LOCATION MAP

SHEET LIST TABLE	
SHEET #	SHEET TITLE
1	COVER SHEET
2	NOTES
3	SITE PLAN
4	UTILITY PLAN
5	OVERALL GRADING & DRAINAGE PLAN
6	ROAD P-PRO
7	SANITARY P-PRO
8	WATER P-PRO
9	STORM P-PRO
10	IRRIGATION LATERAL P-PRO
11	IRRIGATION LATERAL P-PRO
12	DETAILED GRADING PLAN 1
13	DETAILED GRADING PLAN 2
14	DETAILED GRADING PLAN 3
15	DETAILED GRADING PLAN 4
16	BAYFIELD PARKWAY IMPROVEMENTS
17	BAYFIELD PARKWAY DETAILED GRADING PLAN
18	SIGNING AND STRIPING PLAN
19	TYPICAL SECTIONS
20	DETAILS 1
21	DETAILS 2
22	DETAILS 3
23	DETAILS 4
24	DETAILS 5

- APPROVING AGENCIES:** TOWN OF BAYFIELD  
PINE RIVER IRRIGATION DISTRICT  
UPPER PINE RIVER FIRE PROTECTION DISTRICT
- APPLICABLE STANDARDS:** TOWN OF BAYFIELD INFRASTRUCTURE DESIGN STANDARDS  
TOWN OF BAYFIELD CONSTRUCTION SPECIFICATIONS
- INSPECTING AGENCIES:** TOWN OF BAYFIELD (FOR PUBLIC IMPROVEMENTS)
- REQUIRED PERMITS\*:** STATE OF COLORADO STORMWATER DISCHARGE PERMIT  
TOWN OF BAYFIELD RIGHT-OF-WAY PERMIT  
TOWN OF BAYFIELD EXCAVATION PERMIT

\* THIS LIST IS NOT MEANT TO BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND OBTAIN ALL NECESSARY PERMITS

**ADJACENT UTILITY PROVIDERS:**  
WATER & SEWER = TOWN OF BAYFIELD  
GAS = BLACK HILLS ENERGY  
ELECTRIC = LPEA  
INTERNET = CLEAR NETWORKX

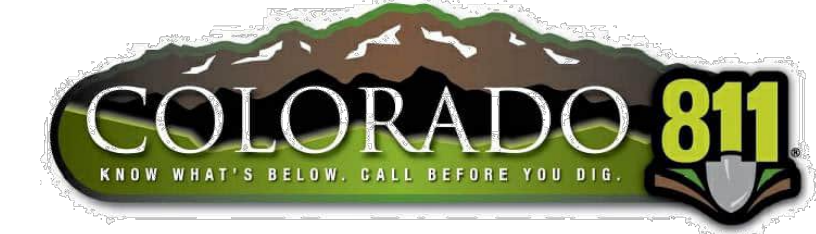
ENGINEER OF RECORD

TOWN ENGINEER

PUBLIC WORKS DIRECTOR

#	REVISIONS:	
	DATE	DESCRIPTION

DATE: 09/14/2023  
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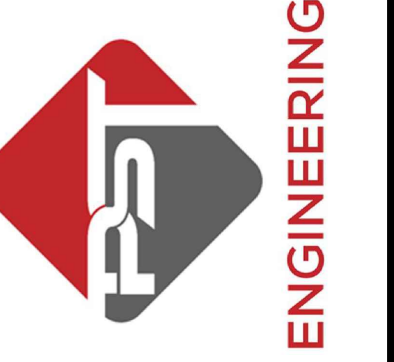
**GENERAL NOTES**

1. ALL ITEMS LISTED IN THESE NOTES ARE INCIDENTAL TO THE PROJECT AND WILL NOT BE PAID FOR SEPARATELY UNLESS NOTED AND/OR A SPECIFIC ITEM IS LISTED IN THE BID TABULATION.
  2. THE CONTRACTOR SHALL HAVE IN THEIR POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF PLANS AND SPECIFICATIONS WHICH HAVE BEEN APPROVED BY THE APPROPRIATE AGENCIES.
  3. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS (SEE LIST BELOW). THE CONTRACTOR MUST HAVE A COPY OF THESE DOCUMENTS ON SITE AT ALL TIMES. WHEN REQUIREMENTS IN THE DRAWINGS AND THE APPLICABLE STANDARDS CONFLICT THE MORE STRINGENT REQUIREMENT SHALL APPLY.
  4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PROJECT AND/OR WORK IN THE PUBLIC RIGHT—OF—WAY OR PUBLIC EASEMENTS.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER/DEVELOPER OF ANY PROBLEMS IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
  6. THE DEVELOPER SHALL BE RESPONSIBLE FOR RESOLVING CONSTRUCTION PROBLEMS THAT ARISE DURING CONSTRUCTION ACTIVITIES DUE TO CHANGED CONDITIONS OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF IN THE OPINION OF AN AGENCY INSPECTOR OR THE OWNER'S REPRESENTATIVES, THE MODIFICATIONS TO THE APPROVED PLANS PROPOSED BY THE DEVELOPER INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK OR TO FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO THE APPROPRIATE AGENCIES FOR APPROVAL PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING PROJECT "RECORD DRAWINGS" PER THE APPLICABLE STANDARDS (SEE LIST ON COVER SHEET). THE CONTRACTOR SHALL ALSO PROVIDE ONE (1) COPY EACH TO THE OWNER, ENGINEER, AND ANY OTHER APPROPRIATE AGENCIES PRIOR TO FINAL ACCEPTANCE OF THE WORK.
  8. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
  9. SURVEY INFORMATION IS PROVIDED BY MORENO SURVEYING AND GEOGRAPHICS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION/LOCATIONS IDENTIFIED ON THESE PLANS PRIOR TO CONSTRUCTION.
- INCIDENTAL DAMAGE**
10. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY PUBLIC OR PRIVATE IMPROVEMENTS, IN KIND, THAT WERE REMOVED OR DAMAGED DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO: RESIDENTIAL SERVICES, SIGNS, WATER LINES, SEWER LINES, STORM DRAINS, ETC.
  11. THE CONTRACTOR SHALL REPAIR OR REPLACE EXISTING LANDSCAPING, IN KIND, THAT WAS REMOVED OR DAMAGED DURING CONSTRUCTION.
  12. THE CONTRACTOR SHALL RESET ALL SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION WITHIN 60 DAYS OF PROJECT COMPLETION.
  13. ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY FIX ANY DAMAGE OR EXCESSIVE PAVEMENT FAILURES OUTSIDE OF THE PROJECT LIMITS CAUSED BY PROJECT CONSTRUCTION AND SHALL PROPERLY BARRICADE THE AFFECTED AREA UNTIL NECESSARY REPAIRS ARE COMPLETE. FAILURE BY THE CONTRACTOR TO CORRECT ANY OF THE ABOVE CONDITIONS WITHIN PUBLIC RIGHT WITHIN 48 HOURS OF WRITTEN NOTICE BY THE INSPECTING AGENCY SHALL CAUSE THE INSPECTING AGENCY TO ISSUE A STOP WORK ORDER. AT THIS TIME, THE AGENCY MAY PERFORM THE CORRECTIVE WORK AND MAKE A CLAIM AGAINST THE ESCROW BOND OR LETTER OF CREDIT FOR ANY COST INCURRED BY THE AGENCY.
  14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING ASPHALT FROM CONSTRUCTION EQUIPMENT. DAMAGED ASPHALT SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- INSPECTIONS AND MATERIAL TESTING**
15. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE APPROVING AGENCIES, AGENCY INSPECTORS, AND OWNER'S REPRESENTATIVE REGARDING MATERIAL TESTING AND INSPECTION PROCEDURES. ANY REQUIRED RE-TESTING, RE-WORK, OR DELAYS RESULTING FROM THE FAILURE OF THE CONTRACTOR TO FOLLOW THE APPROPRIATE PROCEDURES SHALL BE AT THE CONTRACTOR'S EXPENSE.
  16. THE DUTY OF THE AGENCY REPRESENTATIVES, OWNER, OR OWNER'S REPRESENTATIVES TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
  17. THE OWNER SHALL RETAIN A GEOTECHNICAL TESTING LABORATORY TO PERFORM ALL REQUIRED TESTS.

**GENERAL NOTE (CONT'D)**

- ON SITE CONSTRUCTION**
18. CONTRACTOR SHALL ADJUST RIMS OF ALL CLEANOUTS, MANHOLES, VALVE COVERS, AND SURVEY MONUMENTS TO FINISH GRADE PRIOR TO FINAL MATERIAL PLACEMENT.
  19. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN, FOR EACH TEMPORARY TRAFFIC CONTROL SCENARIO, TO THE TOWN OF BAYFIELD FOR REVIEW AND APPROVAL BEFORE COMMENCING ANY WORK IN THE TOWN RIGHT-OF-WAY OR EASEMENTS. THE CONTRACTOR SHALL EMPLOY A CERTIFIED TRAFFIC CONTROL SUPERVISOR (CTCS) TO BE RESPONSIBLE FOR ALL METHODS OF HANDLING TRAFFIC (MHT'S).
  20. HOT MIX ASPHALT (HMA) SHALL BE CDOT GRADING SX (75). RECYCLED ASPHALT MAY BE INCORPORATED INTO THE MIX UP TO 20 PERCENT BY WEIGHT. HMA SHALL MEET THE REQUIREMENTS OF CDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 403.
  21. CONCRETE INCLUDING ALL SIDEWALKS, CHASES, CURB AND GUTTER, CURB-CUTS, DRIVEWAY RETURNS, HANDICAP RAMPS, CROSS GUTTERS, COLLARS, SHALL MEET THE REQUIREMENTS OF SECTION 8 OF THE TOWN OF BAYFIELD CONSTRUCTION SPECIFICATIONS.
  22. CONTRACTOR SHALL RELOCATE STREET SIGNS TEMPORARILY DURING CONSTRUCTION AS NECESSARY, THEN REPLACE AS REQUIRED PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), INCLUDING T-LOCK BASE, METAL POST, MOUNTING HARDWARE, ETC.
  23. ALL MANHOLE/VALVE CLEANOUT RING AND COVERS IN ASPHALT SHALL BE INSTALLED WITH CONCRETE COLLARS.
- GRADING AND DRAINAGE**
24. A WATER TRUCK, IF CALLED FOR BY AN AGENCY INSPECTOR OR OWNER'S REPRESENTATIVE, WILL BE PROVIDED TO KEEP WIND EROSION IN CHECK.
  25. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
  26. A STATE OF COLORADO STORMWATER QUALITY PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITY DISTURBING AT LEAST 1 ACRE OF LAND (OR IS PART OF A COMMON PLAN OF DEVELOPMENT DISTURBING AT LEAST 1 ACRE OF LAND). THE ESTIMATED AREA OF DISTURBANCE ON THE MASTER PLAN IS APPROXIMATELY 15 ACRES, THEREFORE A COLORADO STORMWATER DISCHARGE PERMIT WILL BE REQUIRED AND OBTAINED BY CONTRACTOR.
- UTILITIES**
27. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY PROVIDERS AND APPROVING AGENCIES FOR ANY PLANNED INTERRUPTION OF UTILITY SERVICES SUCH AS ELECTRICAL, TELEPHONE, WATER, SEWER, GAS, ETC.
  28. CONTRACTOR SHALL CONTACT THE APPROPRIATE AGENCIES FOR THE LOCATION OF UNDERGROUND GAS, ELECTRIC, TELEPHONE, FIBER OPTIC, CABLE TV, AND ANY OTHER PUBLIC OR PRIVATE UTILITIES AT LEAST 2 FULL BUSINESS DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  29. EXISTING UTILITY LOCATIONS AND DEPTHS SHOWN ON THESE PLANS ARE APPROXIMATE AND ALL EXISTING LINES MAY NOT BE SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING CROSSINGS AND DEPTHS PRIOR TO CONSTRUCTION.
- WORK IN EXISTING PAVEMENT**
30. WHERE CONSTRUCTION OCCURS IN OR ACROSS ASPHALT OR CONCRETE PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE PAVEMENT FOR A CLEAN STRAIGHT EDGE 6" OUTSIDE OF THE TRENCH LIMITS TO ALLOW CLEAN REMOVAL AND A GOOD SURFACE FOR PROPER PATCHING.
  31. ALL PAVEMENT SAW CUTS SHALL BE 90' TO ONE ANOTHER.
  32. IMMEDIATELY PRIOR TO ASPHALT PATCHBACK, THE CONTRACTOR SHALL REMOVE THE TOP SEVERAL INCHES OF CLASS 6 ABC ON THE TRENCH AND RECONDITION THE BACKFILL AS NECESSARY TO MEET THE TOWN PAVING STANDARDS. COMPACTION TESTS SHALL BE TAKEN BY THE CONTRACTOR'S GEOTECHNICAL TESTING LABORATORY AND SUBMITTED TO THE ENGINEER. ALL DAMAGED EDGES OF PAVEMENT OR SOFT SHOULDERS SHALL BE SAW CUT AND REMOVED AND THE BASE COMPACTED.
  33. ALL ASPHALT PATCHBACK SHALL MATCH EXISTING THICKNESS, PLACED IN TWO EQUAL LIFTS.

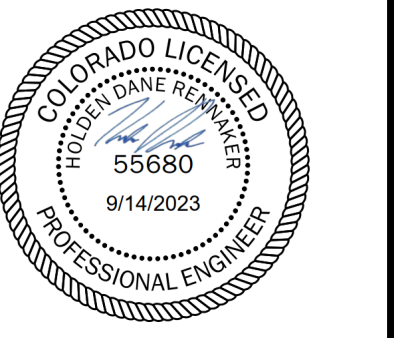
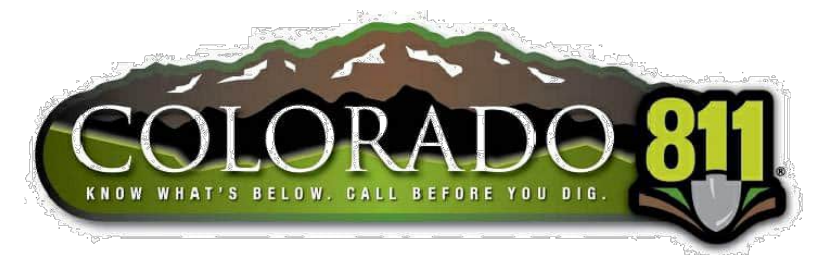
**PST ENGINEERING, LLC**  
2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492



**HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
NOTES**

REVISIONS:		SHEET
DATE	DESCRIPTION	
#		

DATE: 09/14/2023  
DRAWN BY: HR  
CHECKED BY: SP



**LOT 2 PARKING SUMMARY:**

- 82.5 PARKING SPACES REQUIRED**
- 33 PROPOSED TOWNHOME UNITS
  - PER SECTION 6.8 OF BAYFIELD TOWN CODE: 2.5 SPACES PER MULTI-FAMILY UNIT REQUIRED
- 85 PARKING SPACES PROVIDED**
- 1 GARAGE SPACE PROVIDED PER UNIT (33 TOTAL)
  - 1 DRIVEWAY SPACE PROVIDED PER UNIT (33 TOTAL)
  - 19 OFF STREET SPACES PROVIDED

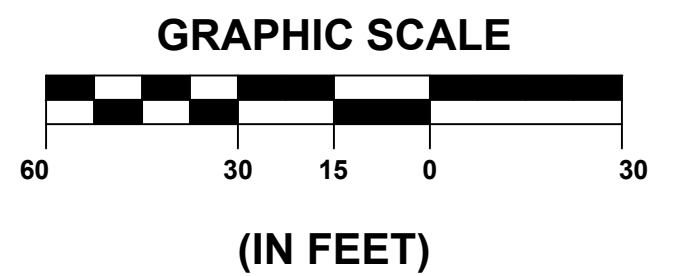
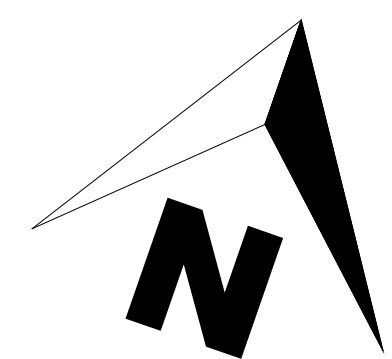
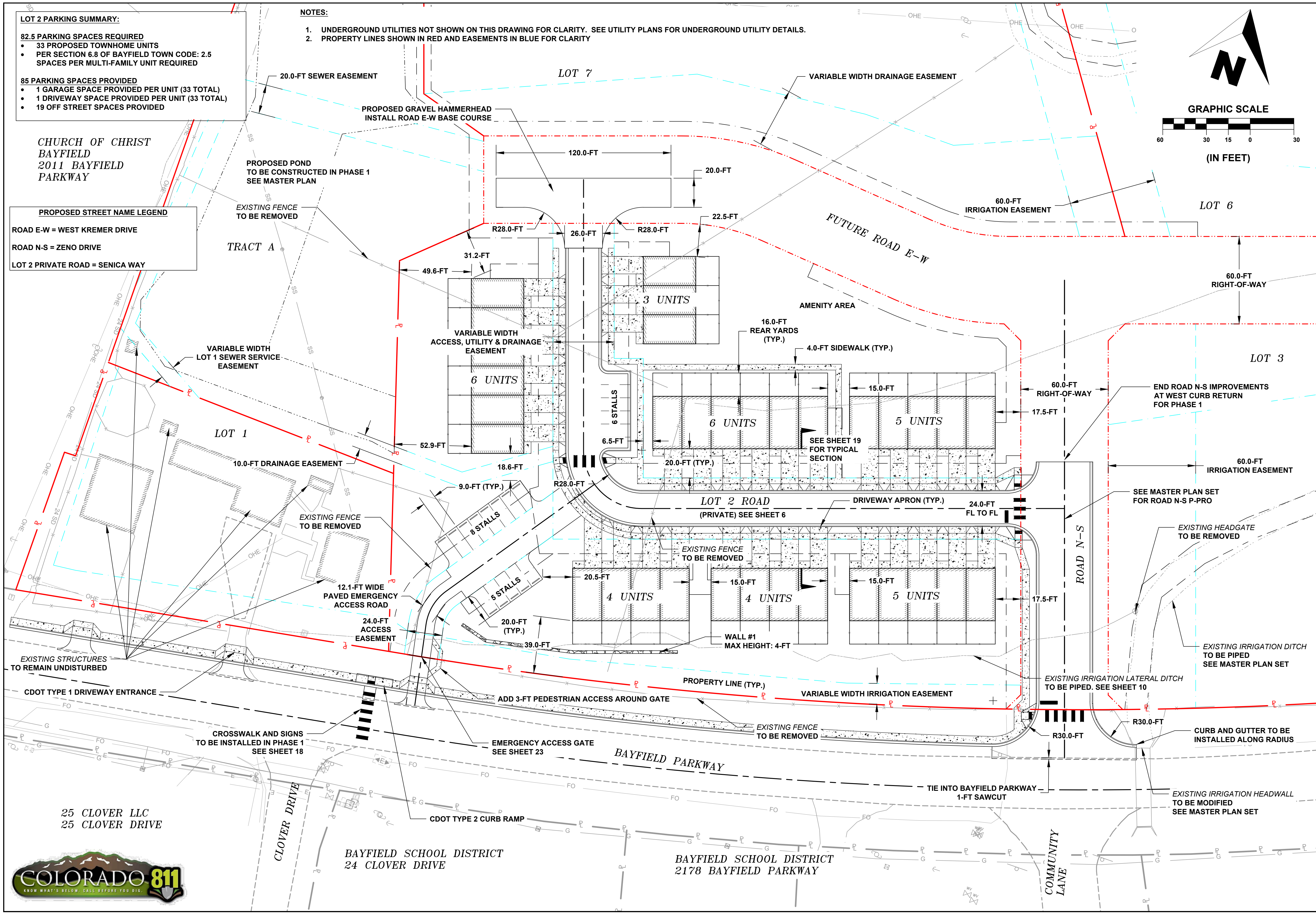
**NOTES:**

1. UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING FOR CLARITY. SEE UTILITY PLANS FOR UNDERGROUND UTILITY DETAILS.
2. PROPERTY LINES SHOWN IN RED AND EASEMENTS IN BLUE FOR CLARITY

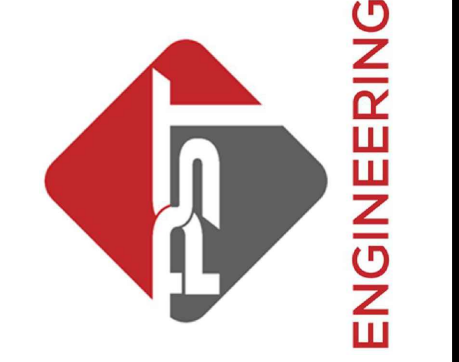
CHURCH OF CHRIST  
BAYFIELD  
2011 BAYFIELD  
PARKWAY

**PROPOSED STREET NAME LEGEND**

ROAD E-W = WEST KREMER DRIVE  
ROAD N-S = ZENO DRIVE  
LOT 2 PRIVATE ROAD = SENICA WAY



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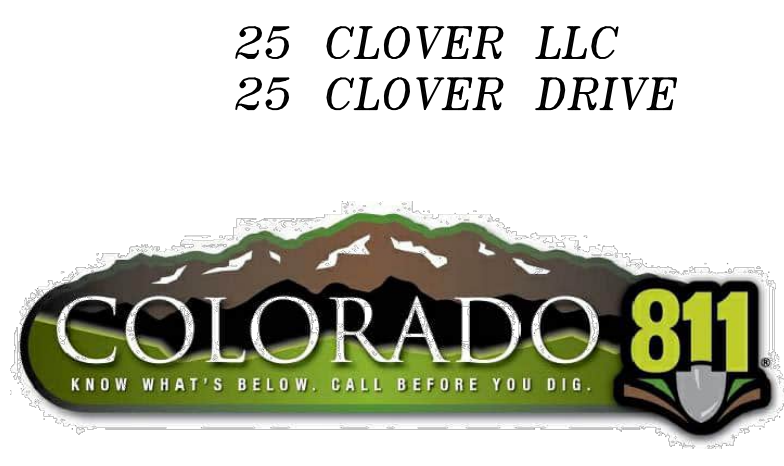


**HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
SITE PLAN**

**REVISIONS:**

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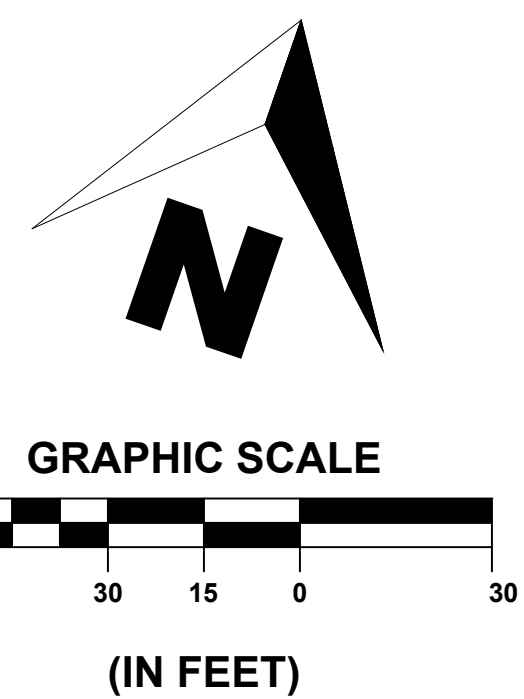
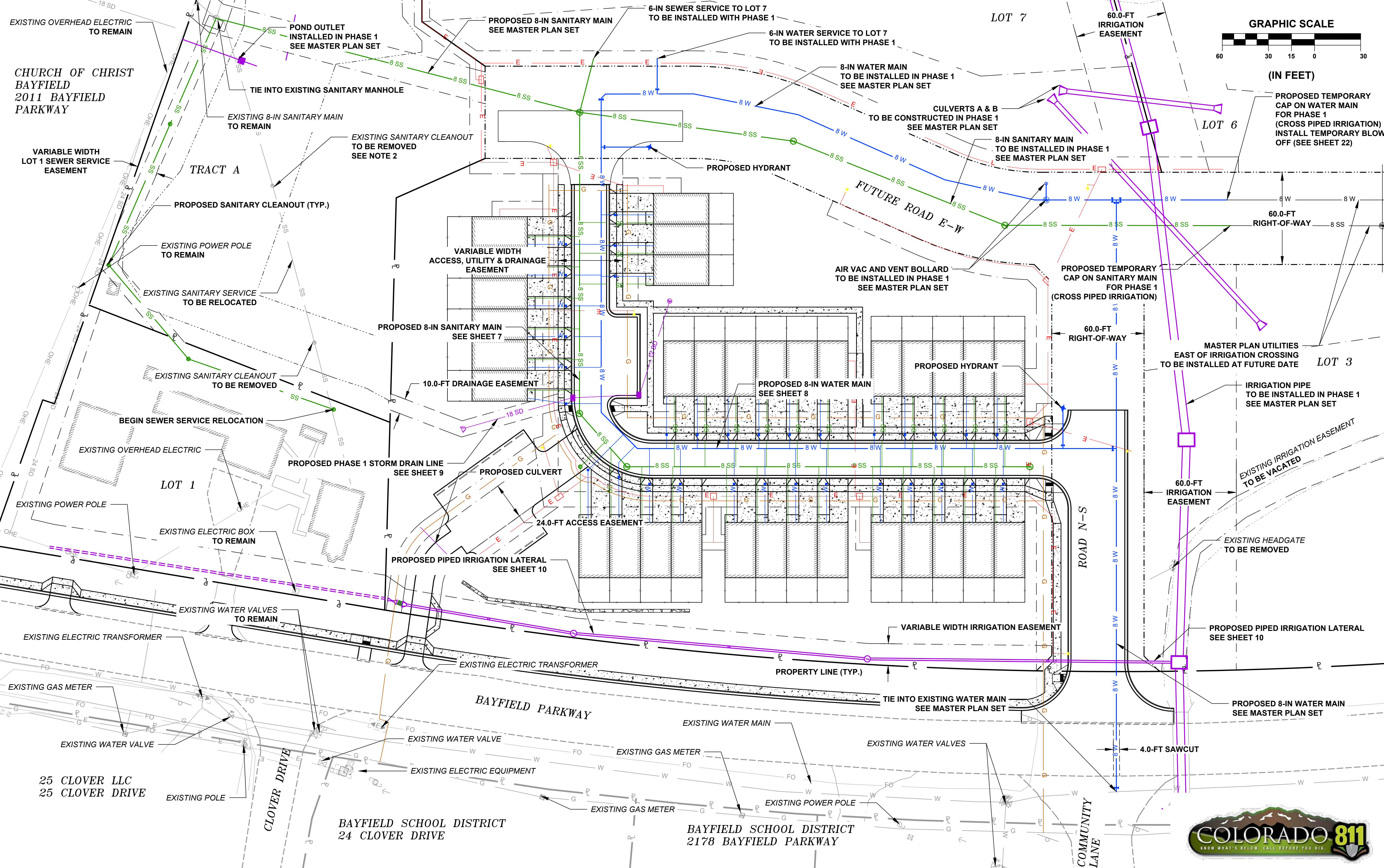
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BAYFIELD SCHOOL DISTRICT  
24 CLOVER DRIVE

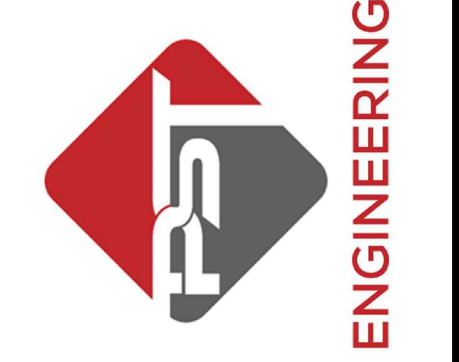
BAYFIELD SCHOOL DISTRICT  
2178 BAYFIELD PARKWAY

- NOTES:**
1. HORIZONTAL LOCATION OF EXISTING WATER, GAS, ELECTRIC, AND COMMUNICATIONS IS FROM SURVEYED UTILITY LOCATES. THE HORIZONTAL LOCATION OF SANITARY SEWER WAS DETERMINED FROM SURFACE FEATURES. CONTRACTOR SHALL POTHOLE TO VERIFY UTILITY LOCATIONS PRIOR TO THE START OF WORK AND NOTIFY THE OWNER/ENGINEER OF ANY DISCREPANCIES OR APPARENT CONFLICTS.
  2. LOCATION AND DESIGN OF PROPOSED DRY UTILITIES (GAS, ELECTRIC, COMMUNICATION, ETC.) WAS BY OTHERS AND IS SHOWN FOR REFERENCE ONLY.
  3. ASPHALT SHALL BE SAWCUT AND PATCHED FOR UTILITY LINES WHERE SHOWN. BACKFILL ABOVE THE BEDDING SHALL BE FLOWFILL UNDER TOWN STREETS.
  4. 10' OF HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN WATER AND SANITARY/STORM SEWER MAINS.
  5. CONTRACTOR MUST COORDINATE WITH LPEA TO DETERMINE IF POLES NEED TEMPORARY SUPPORT DURING GRADING OPERATIONS.
  6. ALL UTILITIES TO BE CONSTRUCTED IN PHASE 1 ARE SHOWN IN COLOR



SHEET  
**4** OF **24**

**PST ENGINEERING, LLC**  
2615 MAIN AVE, SUITE 209  
DURANGO, CO 81301  
970-403-5492



**HAGA PROPERTY PHASE 1**  
**2107 BAYFIELD PARKWAY**  
**BAYFIELD, CO 81122**  
**UTILITY PLAN**

REVISIONS:

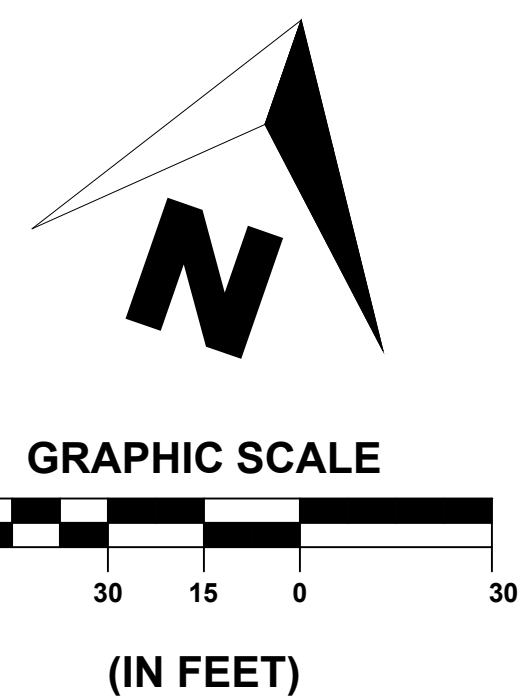
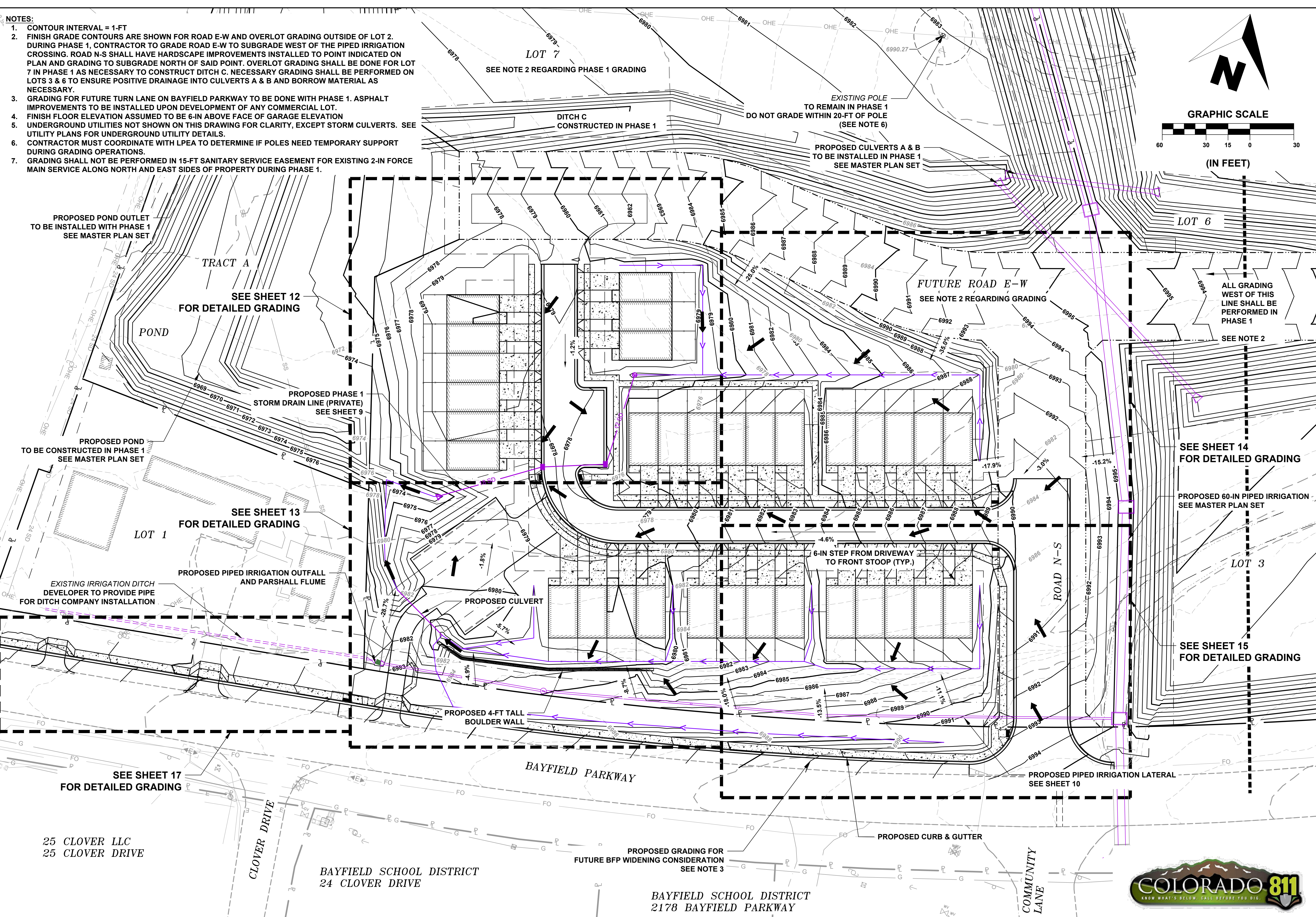
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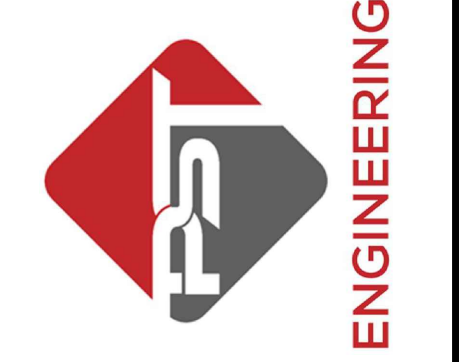
**NOTES:**

1. CONTOUR INTERVAL = 1-FT
2. FINISH GRADE CONTOURS ARE SHOWN FOR ROAD E-W AND OVERLOT GRADING OUTSIDE OF LOT 2. DURING PHASE 1, CONTRACTOR TO GRADE ROAD E-W TO SUBGRADE WEST OF THE PIPED IRRIGATION CROSSING. ROAD N-S SHALL HAVE HARDSCAPE IMPROVEMENTS INSTALLED TO POINT INDICATED ON PLAN AND GRADING TO SUBGRADE NORTH OF SAID POINT. OVERLOT GRADING SHALL BE DONE FOR LOT 7 IN PHASE 1 AS NECESSARY TO CONSTRUCT DITCH C. NECESSARY GRADING SHALL BE PERFORMED ON LOTS 3 & 6 TO ENSURE POSITIVE DRAINAGE INTO CULVERTS A & B AND BORROW MATERIAL AS NECESSARY.
3. GRADING FOR FUTURE TURN LANE ON BAYFIELD PARKWAY TO BE DONE WITH PHASE 1. ASPHALT IMPROVEMENTS TO BE INSTALLED UPON DEVELOPMENT OF ANY COMMERCIAL LOT.
4. FINISH FLOOR ELEVATION ASSUMED TO BE 6-IN ABOVE FACE OF GARAGE ELEVATION
5. UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING FOR CLARITY, EXCEPT STORM CULVERTS. SEE UTILITY PLANS FOR UNDERGROUND UTILITY DETAILS.
6. CONTRACTOR MUST COORDINATE WITH LPEA TO DETERMINE IF POLES NEED TEMPORARY SUPPORT DURING GRADING OPERATIONS.
7. GRADING SHALL NOT BE PERFORMED IN 15-FT SANITARY SERVICE EASEMENT FOR EXISTING 2-IN FORCE MAIN SERVICE ALONG NORTH AND EAST SIDES OF PROPERTY DURING PHASE 1.



SHEET  
**5** OF **24**

**PST ENGINEERING, LLC**  
2615 MAIN AVE, SUITE 209  
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970-403-5492



**HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
OVERALL GRADING &  
DRAINAGE PLAN**

REVISIONS:

#	DATE	DESCRIPTION	SHEET

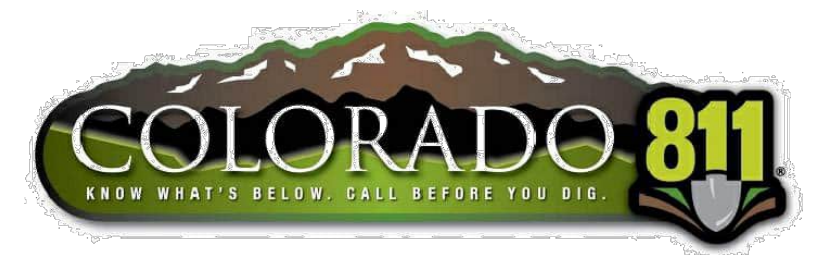
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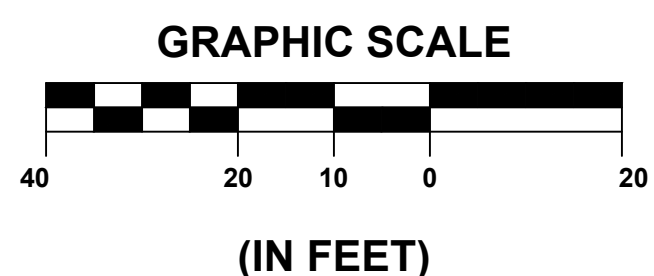
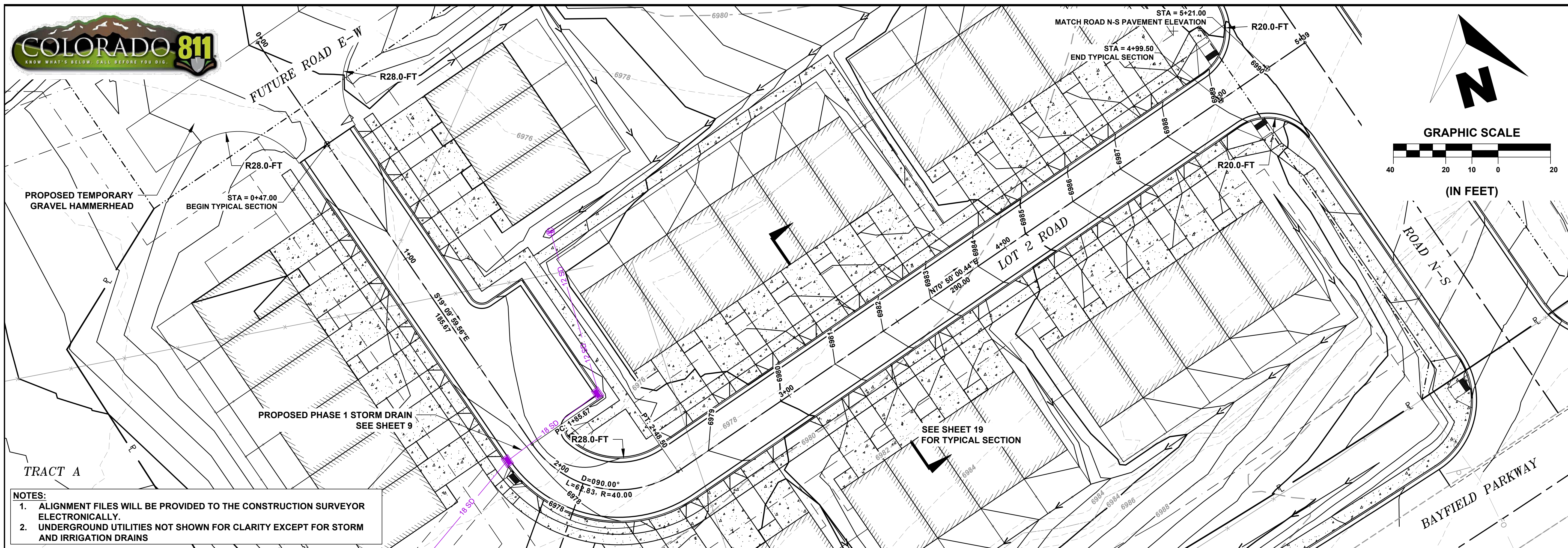
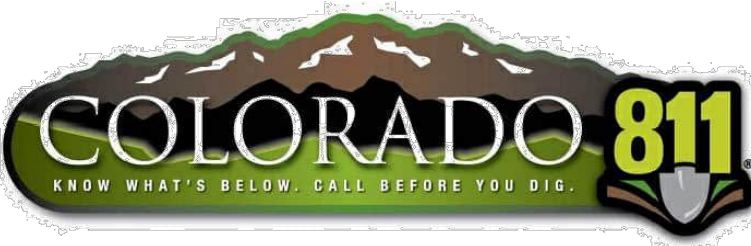


25 CLOVER LLC  
25 CLOVER DRIVE

BAYFIELD SCHOOL DISTRICT  
24 CLOVER DRIVE

BAYFIELD SCHOOL DISTRICT  
2178 BAYFIELD PARKWAY





- NOTES:**
- ALIGNMENT FILES WILL BE PROVIDED TO THE CONSTRUCTION SURVEYOR ELECTRONICALLY.
  - UNDERGROUND UTILITIES NOT SHOWN FOR CLARITY EXCEPT FOR STORM AND IRRIGATION DRAINS

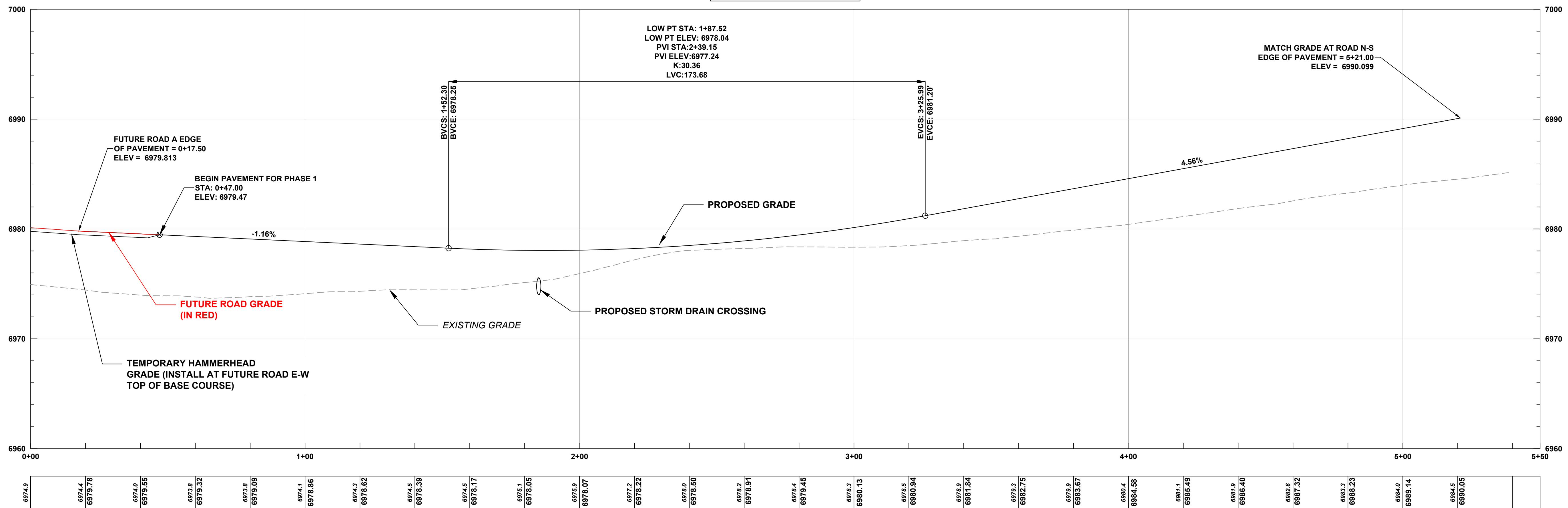
**SHEET**  
6 OF 24

**PST ENGINEERING, LLC**  
2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492

**HAGA PROPERTY**  
**PHASE 1**  
**2107 BAYFIELD PARKWAY**  
**BAYFIELD, CO 81122**  
**ROAD P-PRO**

PROFILE VIEW OF LOT 2 ROAD

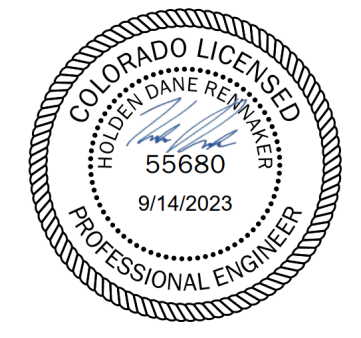
PROFILE VERTICAL EXAGGERATION: 4X

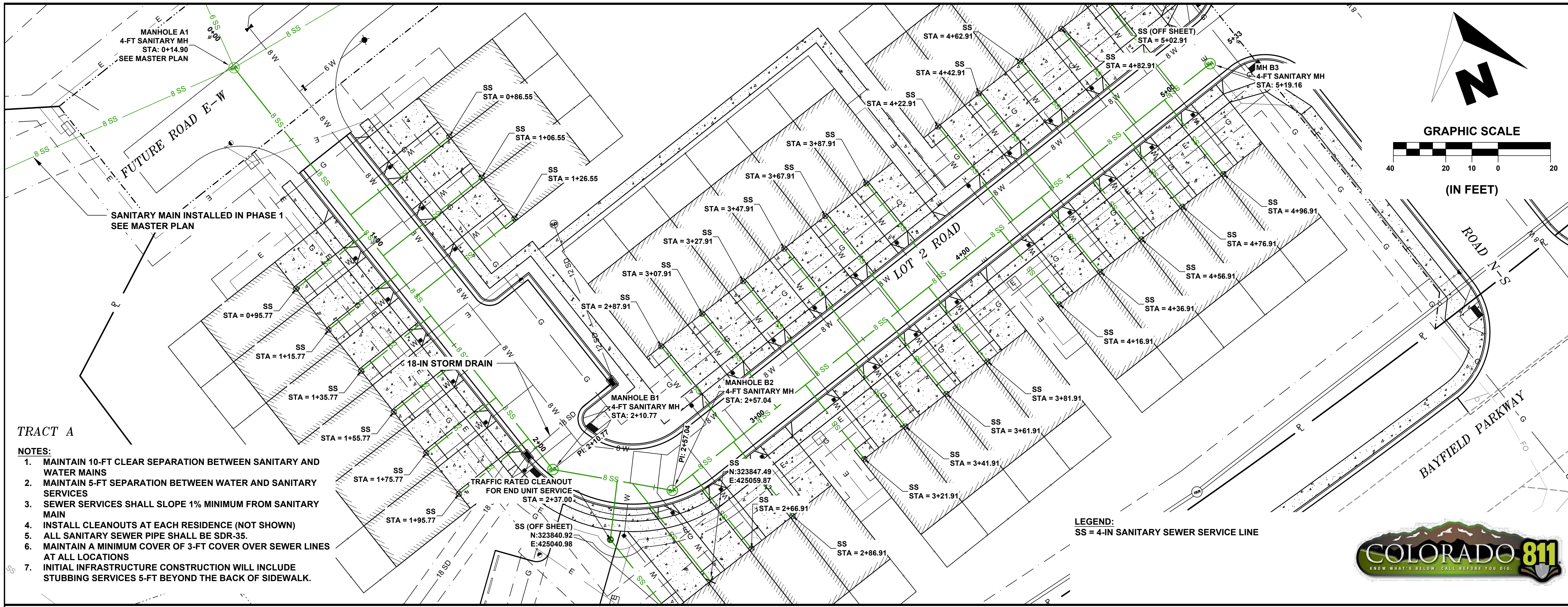


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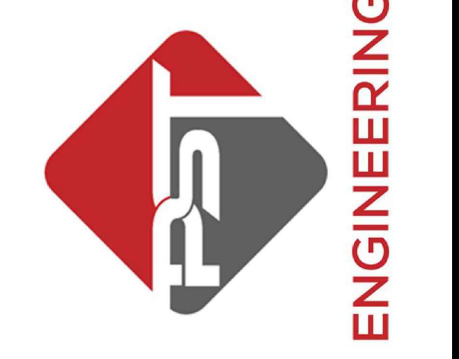




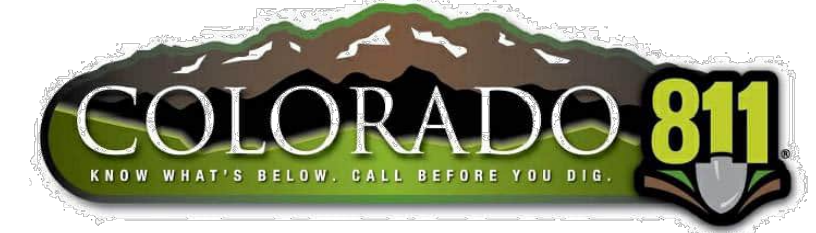
- TRACT A**
- NOTES:**
1. MAINTAIN 10-FT CLEAR SEPARATION BETWEEN SANITARY AND WATER MAINS
  2. MAINTAIN 5-FT SEPARATION BETWEEN WATER AND SANITARY SERVICES
  3. SEWER SERVICES SHALL SLOPE 1% MINIMUM FROM SANITARY MAIN
  4. INSTALL CLEANOUTS AT EACH RESIDENCE (NOT SHOWN)
  5. ALL SANITARY SEWER PIPE SHALL BE SDR-35.
  6. MAINTAIN A MINIMUM COVER OF 3-FT COVER OVER SEWER LINES AT ALL LOCATIONS
  7. INITIAL INFRASTRUCTURE CONSTRUCTION WILL INCLUDE STUBBING SERVICES 5-FT BEYOND THE BACK OF SIDEWALK.

**SHEET**  
7 OF 24

**PST ENGINEERING, LLC**  
2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492

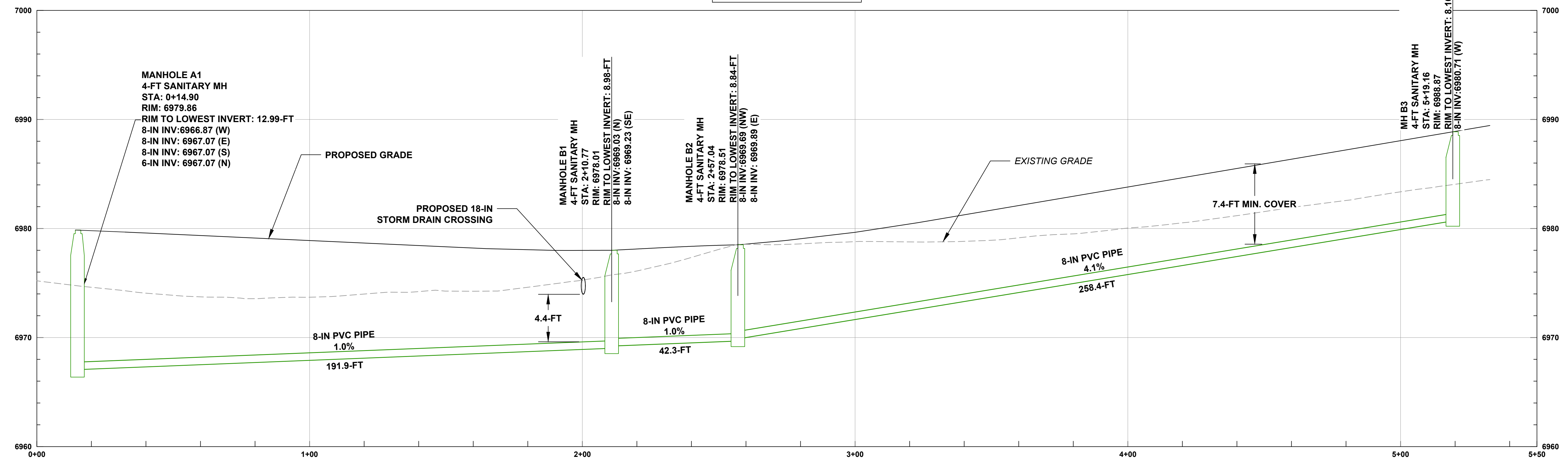


**HAGA PROPERTY**  
**PHASE 1**  
**2107 BAYFIELD PARKWAY**  
**BAYFIELD, CO 81122**  
**SANITARY P-PRO**



**PROFILE VERTICAL EXAGGERATION: 4X**

**PROFILE VIEW OF SANITARY B**

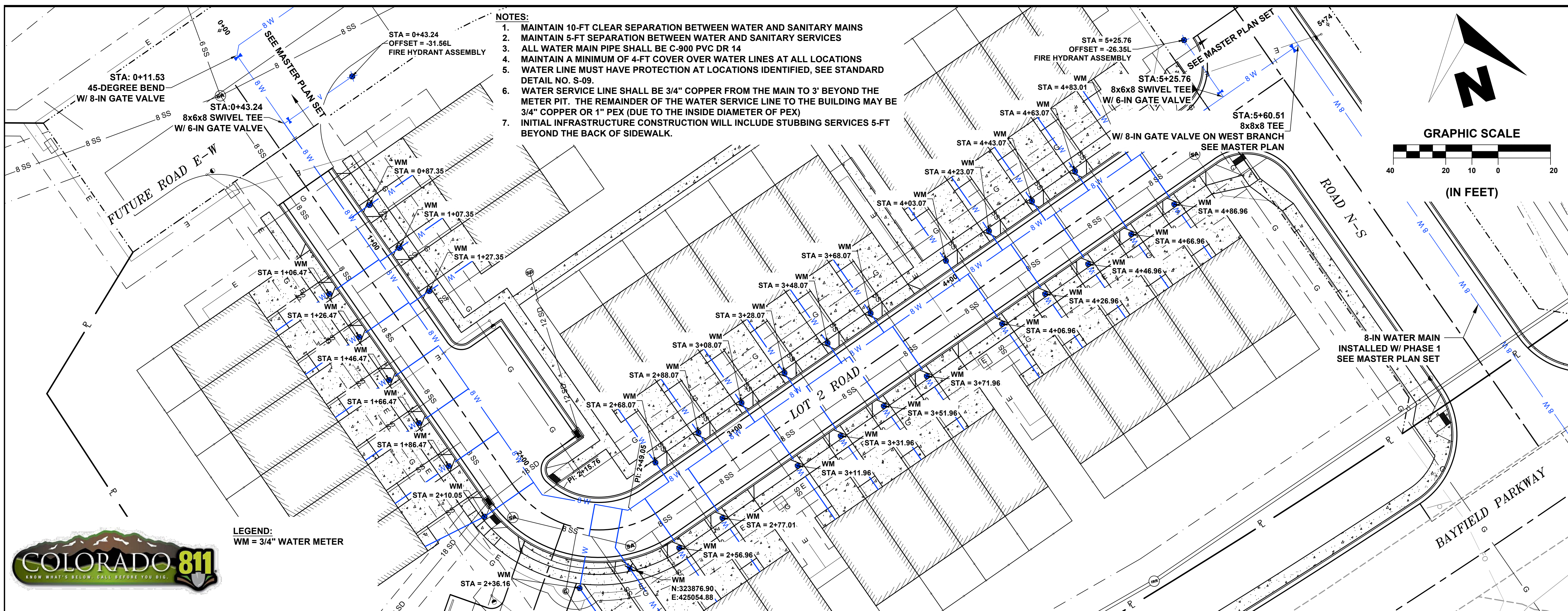


**REVISIONS:**

#	DATE	DESCRIPTION	SHEET

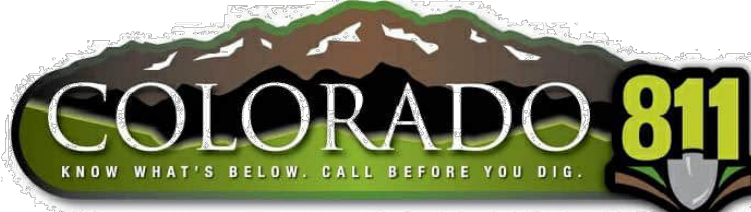
DATE: 09/14/2023  
DRAWN BY: HR  
CHECKED BY: SP





- NOTES:**
1. MAINTAIN 10-FT CLEAR SEPARATION BETWEEN WATER AND SANITARY MAINS
  2. MAINTAIN 5-FT SEPARATION BETWEEN WATER AND SANITARY SERVICES
  3. ALL WATER MAIN PIPE SHALL BE C-900 PVC DR 14
  4. MAINTAIN A MINIMUM OF 4-FT COVER OVER WATER LINES AT ALL LOCATIONS
  5. WATER LINE MUST HAVE PROTECTION AT LOCATIONS IDENTIFIED, SEE STANDARD DETAIL NO. S-09.
  6. WATER SERVICE LINE SHALL BE 3/4" COPPER FROM THE MAIN TO 3' BEYOND THE METER PIT. THE REMAINDER OF THE WATER SERVICE LINE TO THE BUILDING MAY BE 3/4" COPPER OR 1" PEX (DUE TO THE INSIDE DIAMETER OF PEX)
  7. INITIAL INFRASTRUCTURE CONSTRUCTION WILL INCLUDE STUBBING SERVICES 5-FT BEYOND THE BACK OF SIDEWALK.

**LEGEND:**  
WM = 3/4" WATER METER

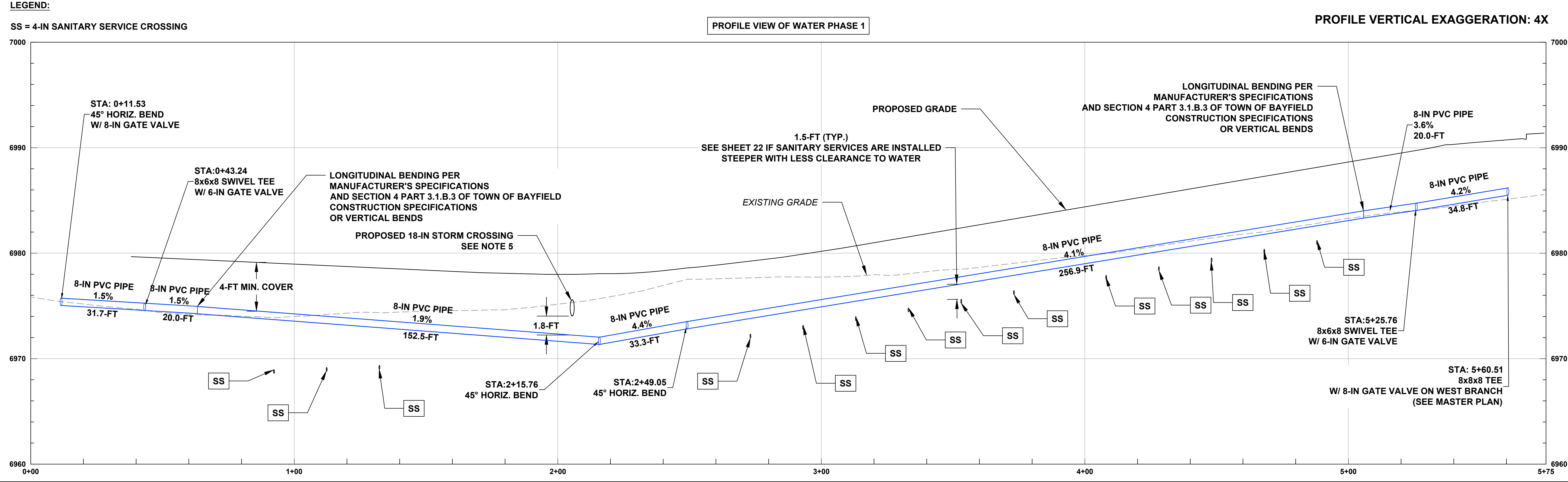


**SHEET** 8 OF 24

**PST ENGINEERING, LLC**  
2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492

**ENGINEERING**

**HAGA PROPERTY**  
**PHASE 1**  
**2107 BAYFIELD PARKWAY**  
**BAYFIELD, CO 81122**  
**WATER P-PRO**



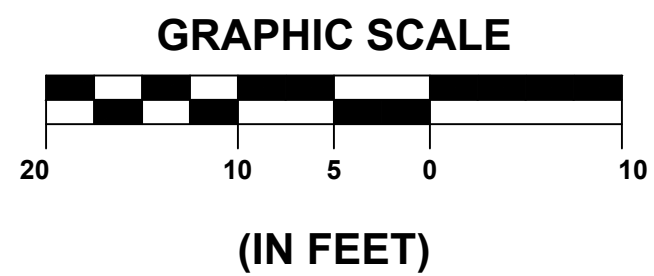
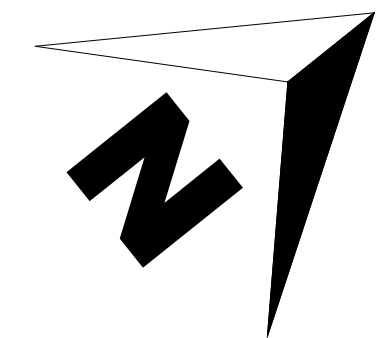
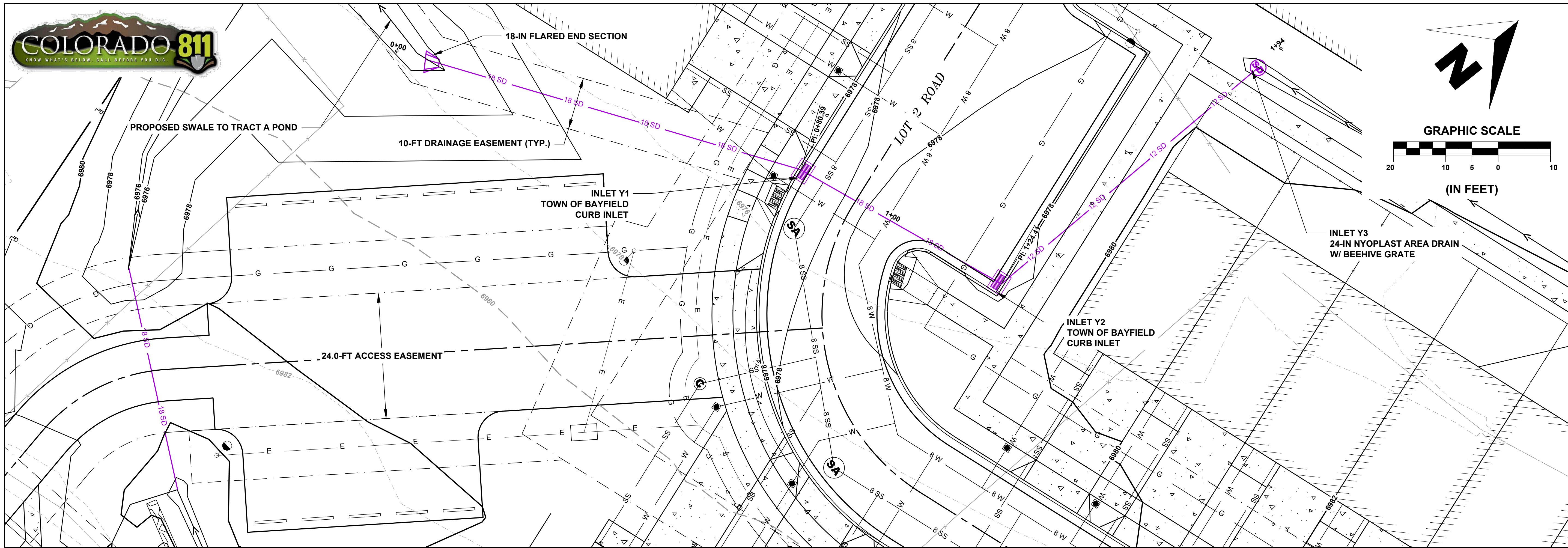
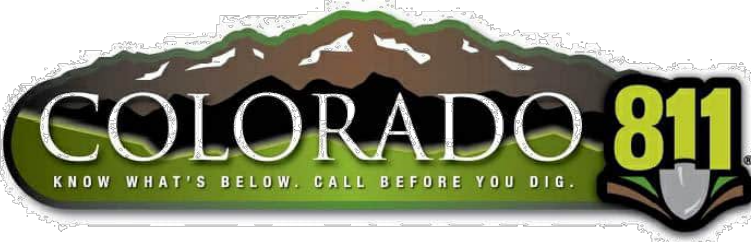
**REVISIONS:**

#	DATE	DESCRIPTION	SHEET

DATE: 09/14/2023  
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CHECKED BY: SP

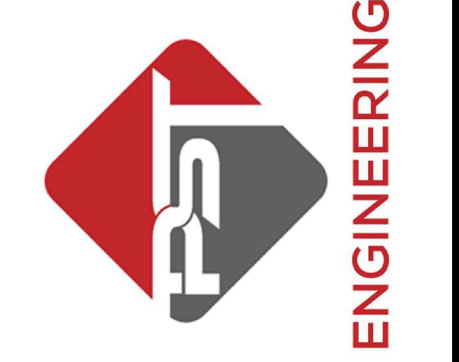






SHEET  
9 OF 24

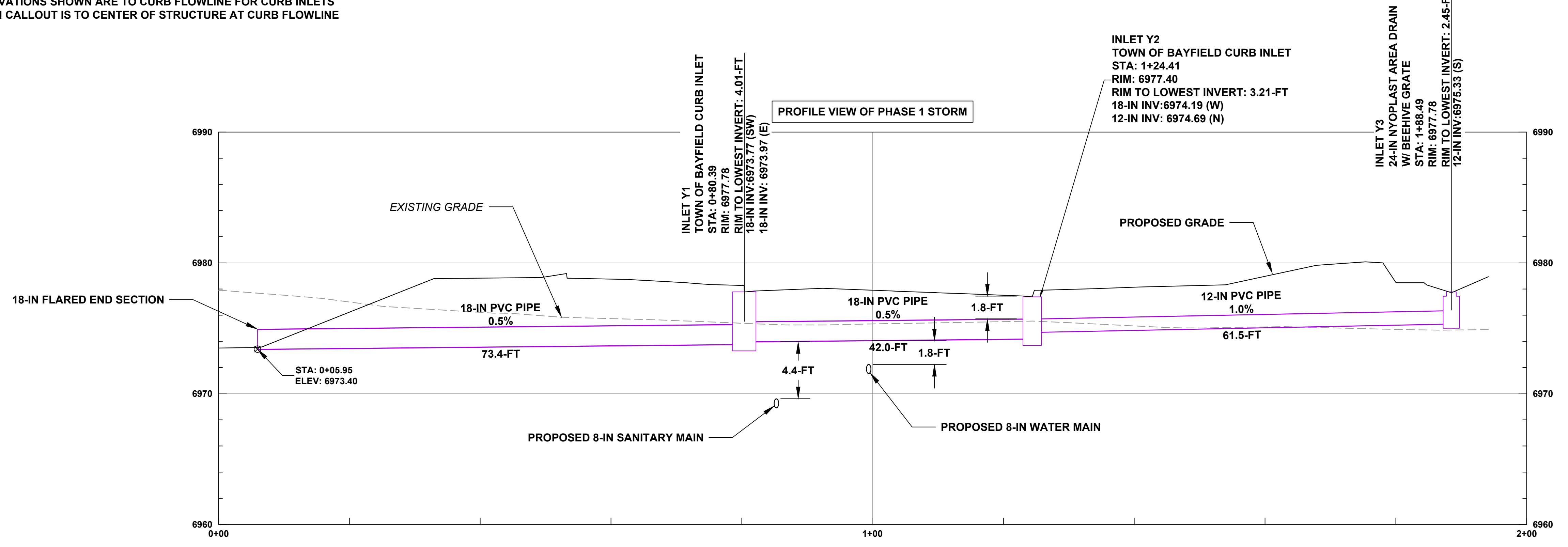
PST ENGINEERING, LLC  
2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492



HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
STORM P-PRO

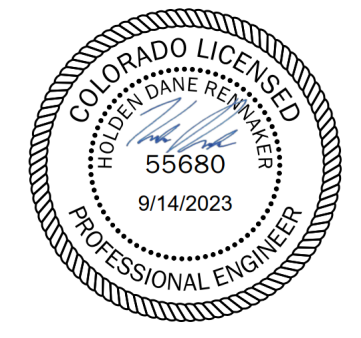
- NOTES:  
1. RIM ELEVATIONS SHOWN ARE TO CURB FLOWLINE FOR CURB INLETS  
2. STATION CALLOUT IS TO CENTER OF STRUCTURE AT CURB FLOWLINE

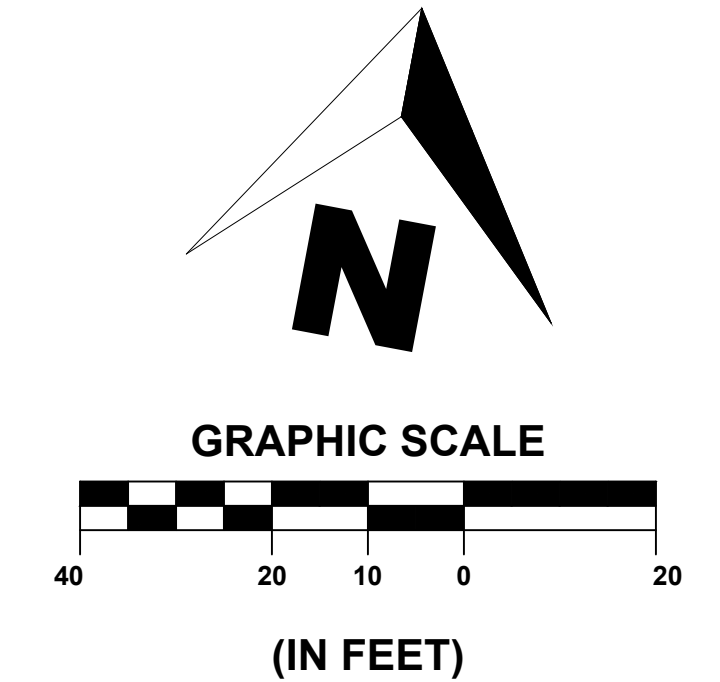
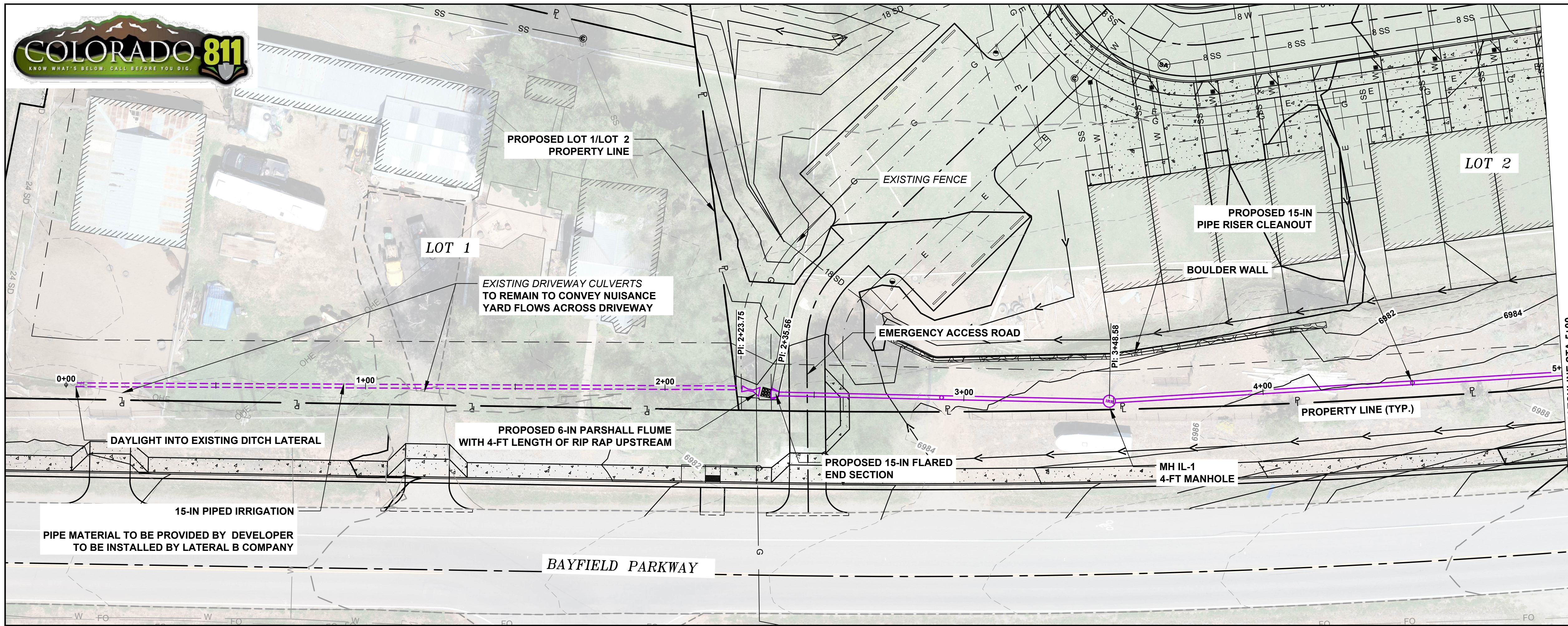
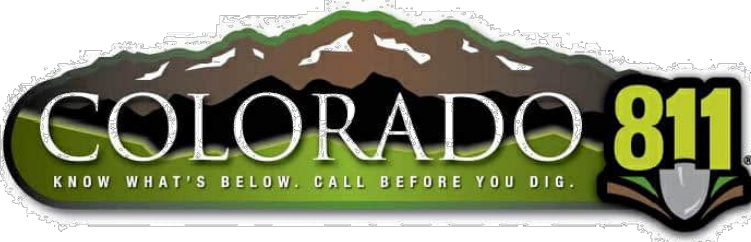
PROFILE VERTICAL EXAGGERATION: 2X



REVISIONS:		DATE	DESCRIPTION	SHEET
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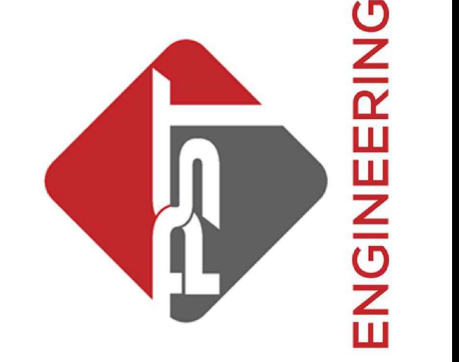
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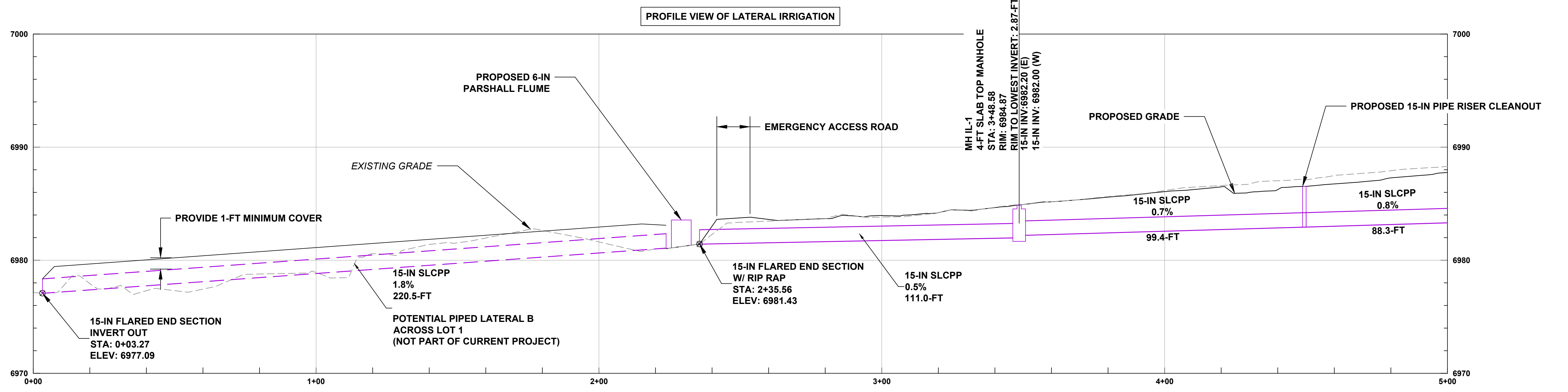
SHEET  
10 OF 24

PST ENGINEERING, LLC  
2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492



HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
IRRIGATION LATERAL P-PRO  
START TO STA 5+00

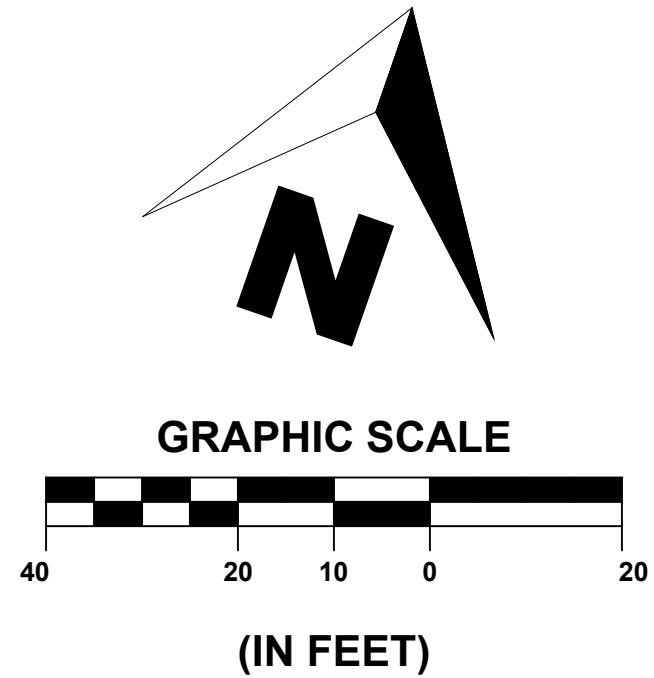
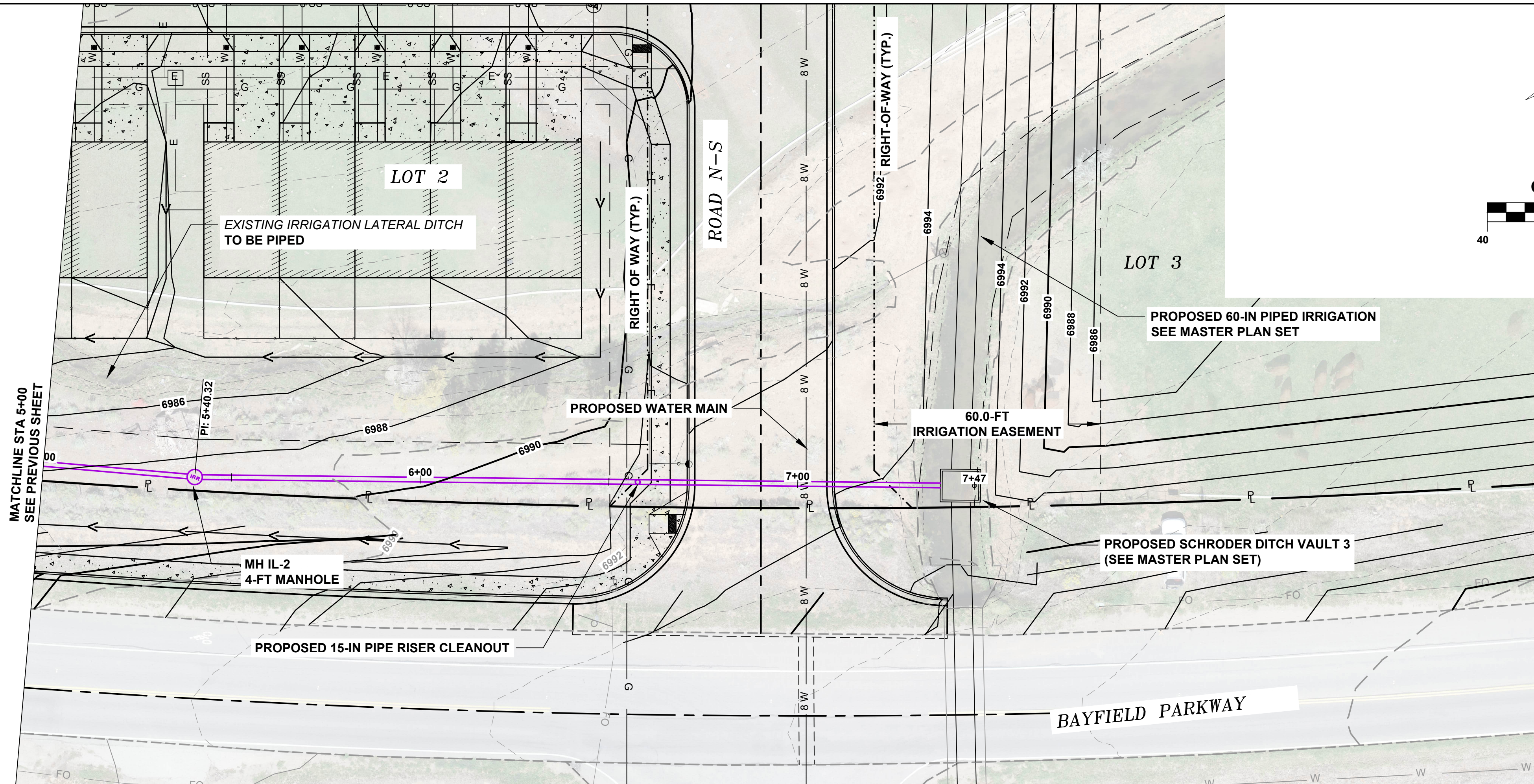
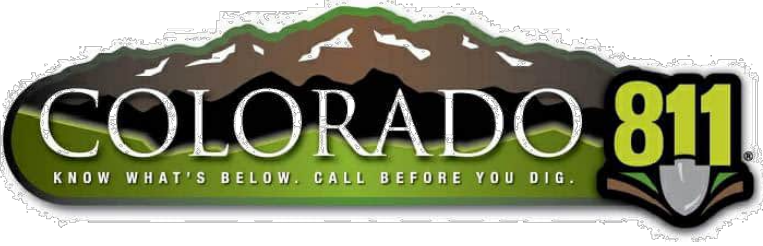
PROFILE VERTICAL EXAGGERATION:4X



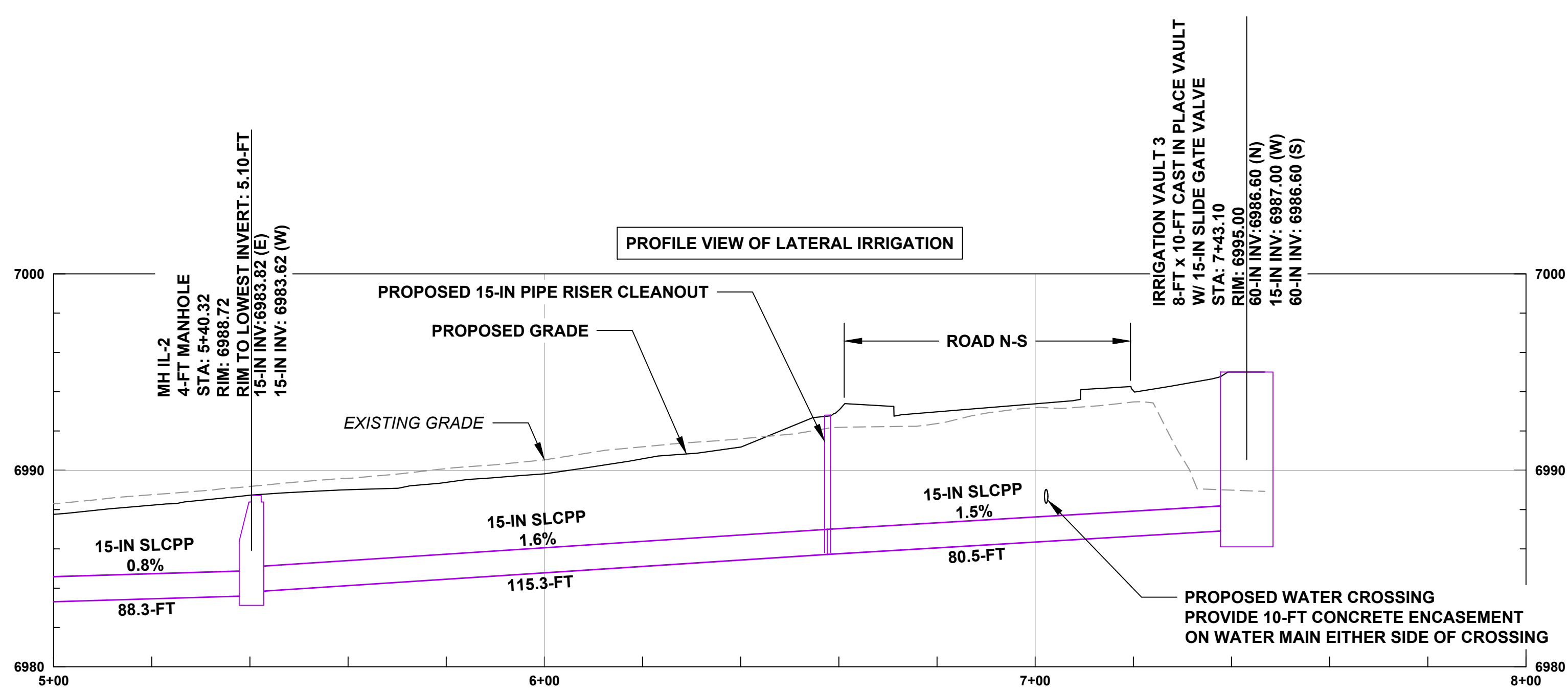
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#				

DATE: 09/14/2023  
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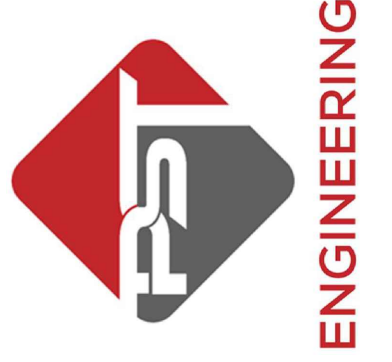


PROFILE VERTICAL EXAGGERATION: 4X



SHEET  
11 OF 24

PST ENGINEERING, LLC  
2615 MAIN AVE, SUITE 209  
DURANGO, CO 81301  
970-403-5492

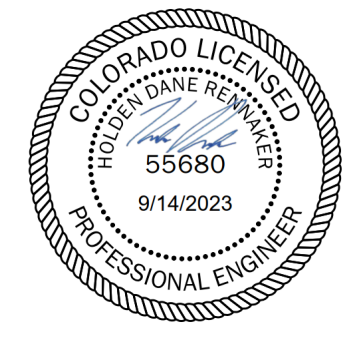


HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
IRRIGATION LATERAL P-PRO  
STA 5+00 TO END

REVISIONS:

#	DATE	DESCRIPTION	SHEET

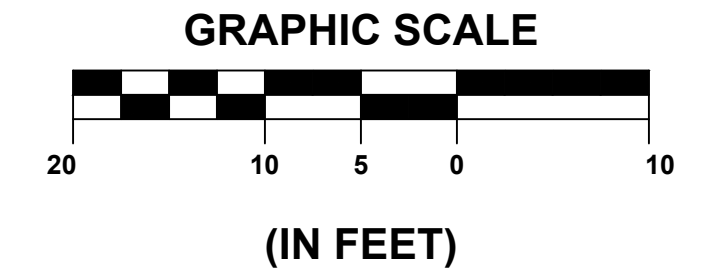
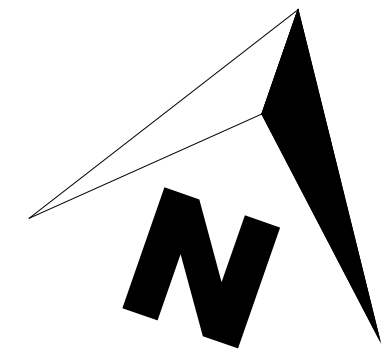
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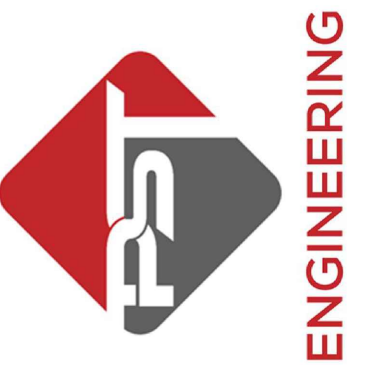
- NOTES:**
1. GRADING ASSUMES 6-IN INTERNAL STEP FROM GARAGE TO UNIT FLOOR
  2. ELEVATIONS SHOWN ON BUILDING FRONTAGE REPRESENT ELEVATIONS AT THE FACE OF GARAGE AND FRONT DOOR.
  3. SPOT ELEVATIONS SHOWN ON SIDEWALKS ARE FROM TYPICAL SECTION AND ROAD PROFILE

**TEMPORARY HAMMERHEAD FOR PHASE 1  
INSTALL ROAD E-W BASE COURSE  
8-IN CLASS 2  
4-IN CLASS 6**

(POINTS 11-16 REPRESENT FINISH GRADE  
OF FUTURE ROADWAY. ELEVATIONS  
SHOULD BE DROPPED 4-IN FOR TOP OF  
BASE COURSE ELEVATIONS)



**PST ENGINEERING, LLC**  
2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492



**HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
DETAILED GRADING PLAN 1  
NORTHWEST**

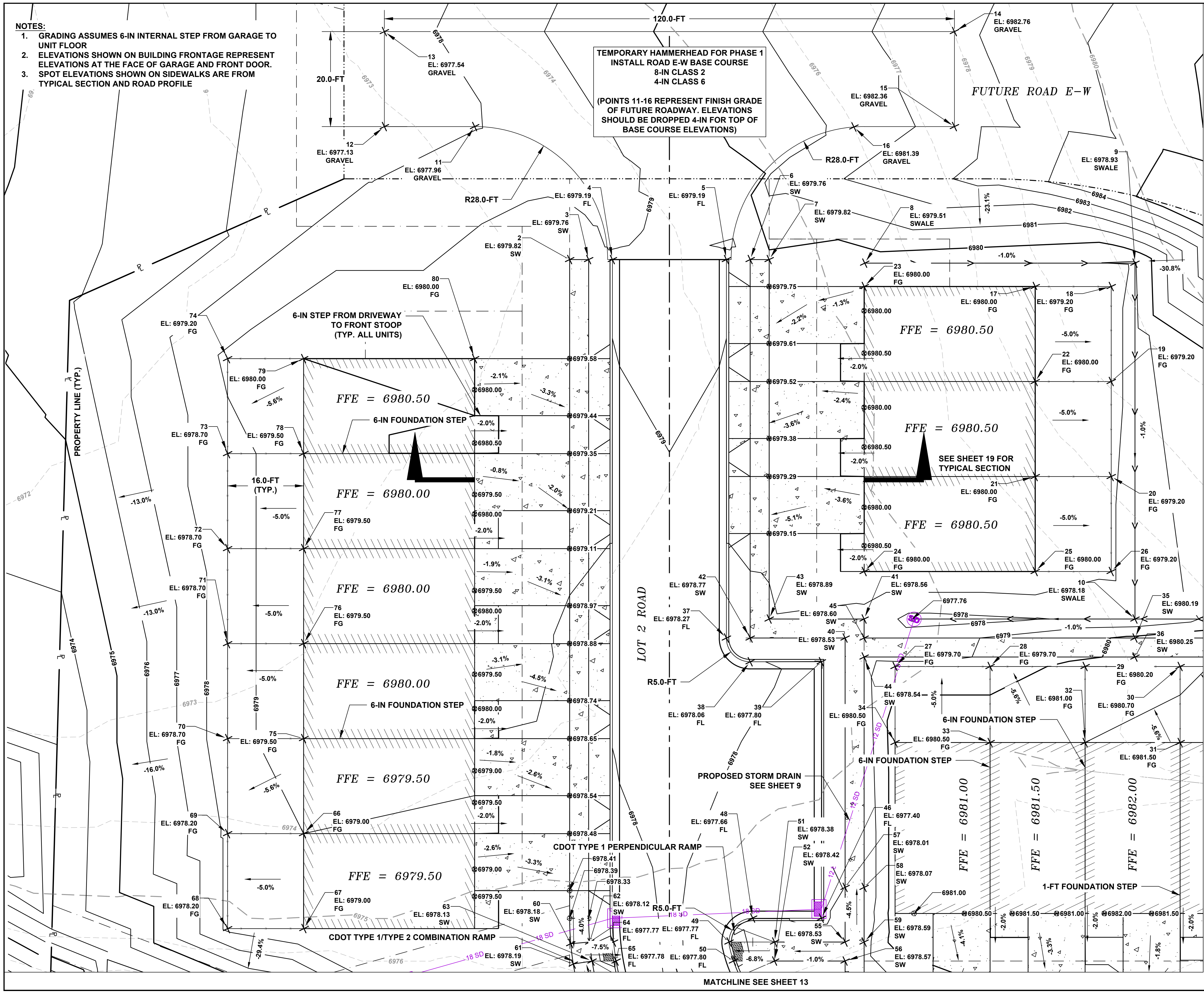
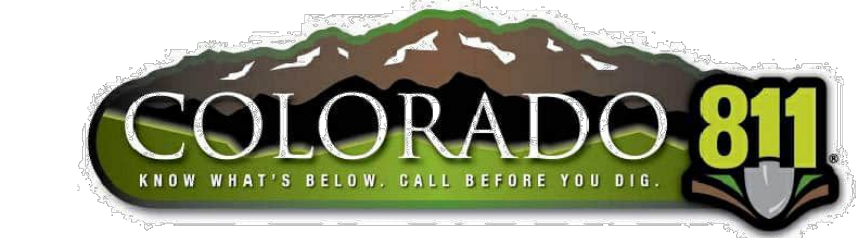
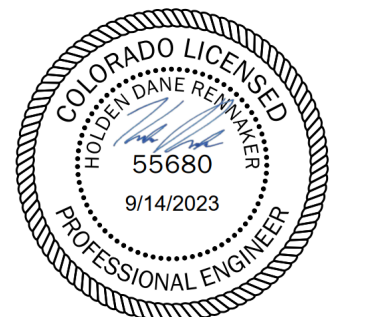
**POINT LEGEND:**

- FFE = FINISH FLOOR ELEVATION
- FG = FINISH GRADE
- SWALE = SWALE FLOWLINE
- SW = EDGE OF SIDEWALK
- EOP = EDGE OF PAVEMENT
- FL = CURB FLOWLINE
- ZC = ZERO CURB
- TBOC = TOP BACK OF CURB

**REVISIONS:**

#	DATE	DESCRIPTION	SHEET

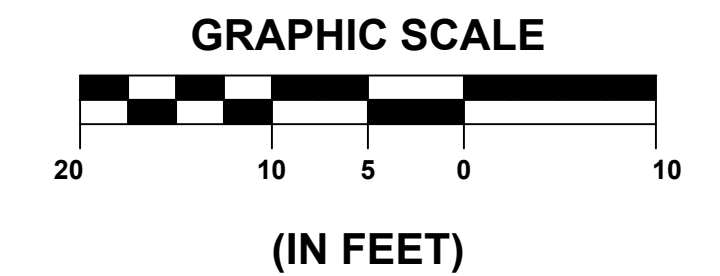
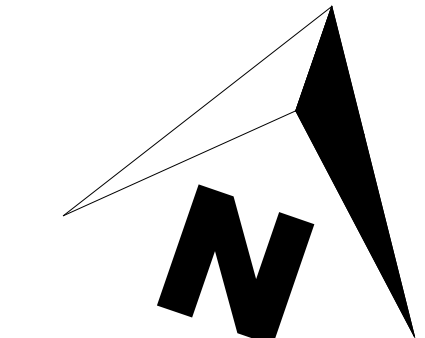
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CHECKED BY: SP



MATCHLINE SEE SHEET 14

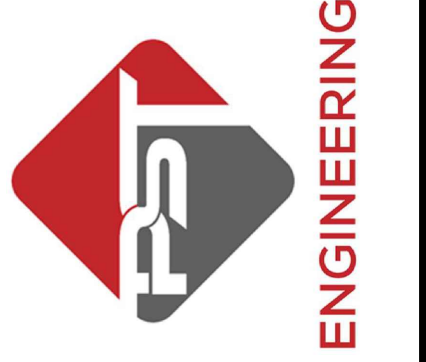
MATCHLINE SEE SHEET 13

- NOTES:**
1. GRADING ASSUMES 6-IN INTERNAL STEP FROM GARAGE TO UNIT FLOOR
  2. ELEVATIONS SHOWN ON BUILDING FRONTAGE REPRESENT ELEVATIONS AT THE FACE OF GARAGE AND FRONT DOOR.
  3. SPOT ELEVATIONS SHOWN ON SIDEWALKS ARE FROM TYPICAL SECTION AND ROAD PROFILE



**SHEET**  
13 OF 24

**PST ENGINEERING, LLC**  
2615 MAIN AVE, SUITE 209  
DURANGO, CO 81301  
970-403-5492

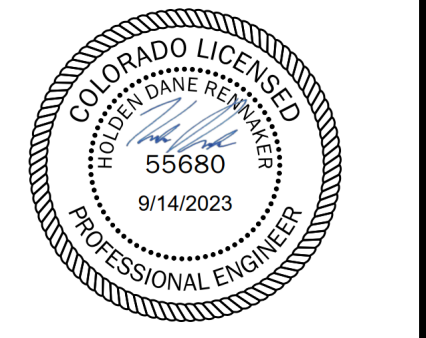


**HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
DETAILED GRADING PLAN 2  
SOUTHWEST**

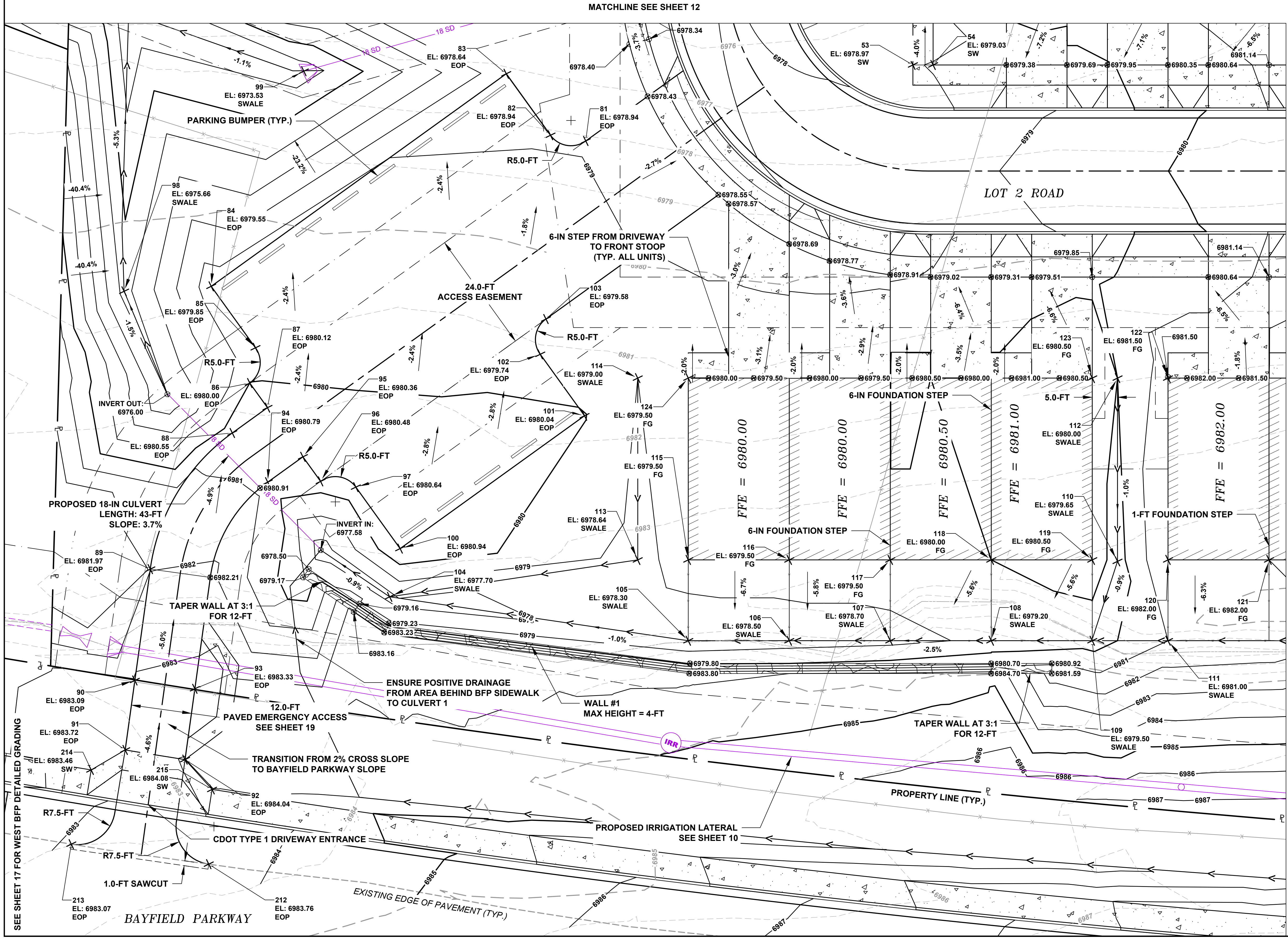
**REVISIONS:**

#	DATE	DESCRIPTION	SHEET

DATE: 09/14/2023  
DRAWN BY: HR  
CHECKED BY: SP

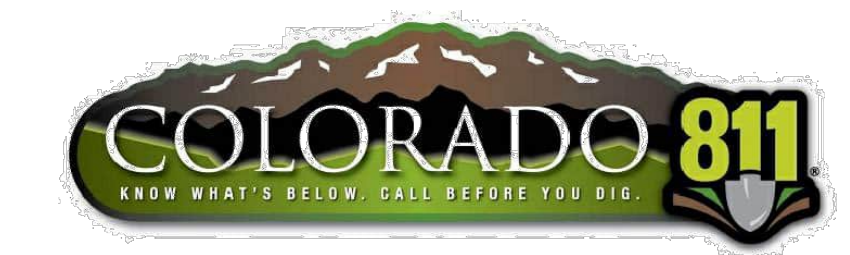


MATCHLINE SEE SHEET 15



**POINT LEGEND:**

- FFE = FINISH FLOOR ELEVATION
- FG = FINISH GRADE
- SWALE = SWALE FLOWLINE
- SW = EDGE OF SIDEWALK
- EOP = EDGE OF PAVEMENT
- FL = CURB FLOWLINE
- ZC = ZERO CURB
- TBOC = TOP BACK OF CURB



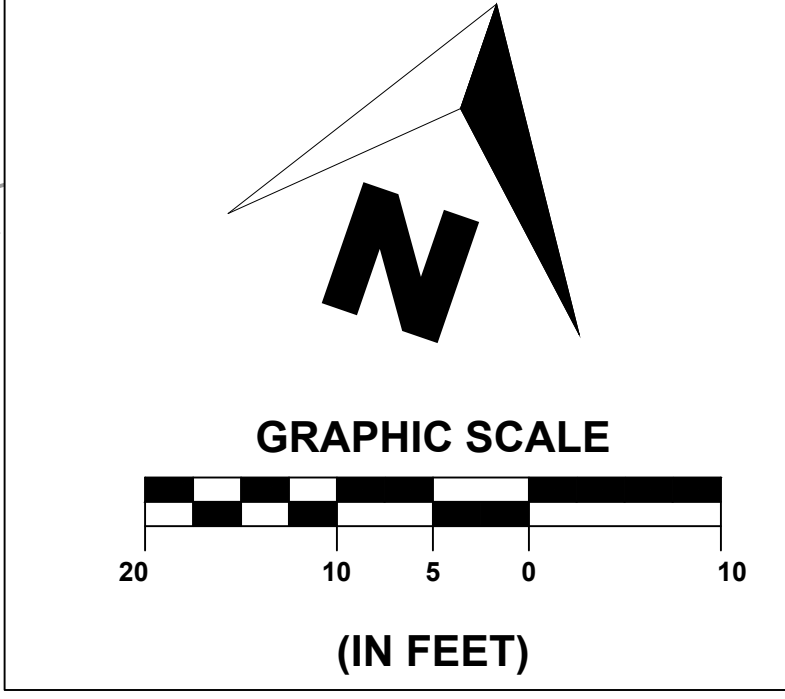
SEE SHEET 17 FOR WEST BFP DETAILED GRADING

MATCHLINE SEE SHEET 12

- NOTES:**
1. GRADING ASSUMES 6-IN INTERNAL STEP FROM GARAGE TO UNIT FLOOR
  2. ELEVATIONS SHOWN ON BUILDING FRONTAGE REPRESENT ELEVATIONS AT THE FACE OF GARAGE AND FRONT DOOR.
  3. SPOT ELEVATIONS SHOWN ON SIDEWALKS ARE FROM TYPICAL SECTION AND ROAD PROFILE

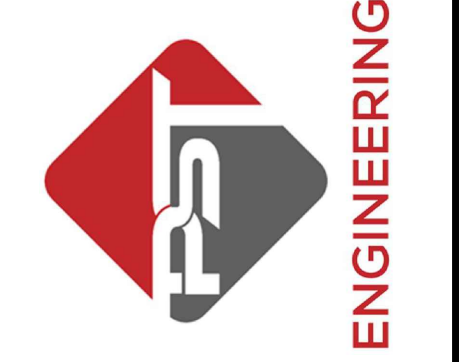
**POINT LEGEND:**

FFE = FINISH FLOOR ELEVATION  
 FG = FINISH GRADE  
 SWALE = SWALE FLOWLINE  
 SW = EDGE OF SIDEWALK  
 EOP = EDGE OF PAVEMENT  
 FL = CURB FLOWLINE  
 ZC = ZERO CURB  
 TBOC = TOP BACK OF CURB



SHEET  
14 OF 24

PST ENGINEERING, LLC  
 2615 MAIN AVE. SUITE 209  
 DURANGO, CO 81301  
 970-403-5492

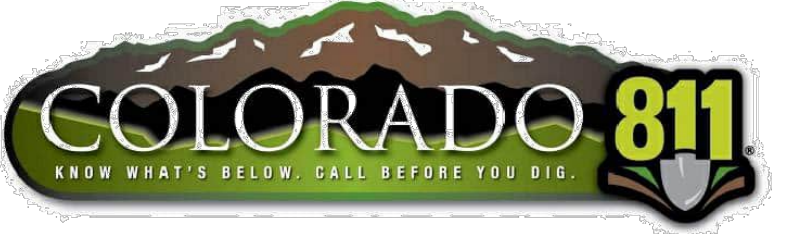
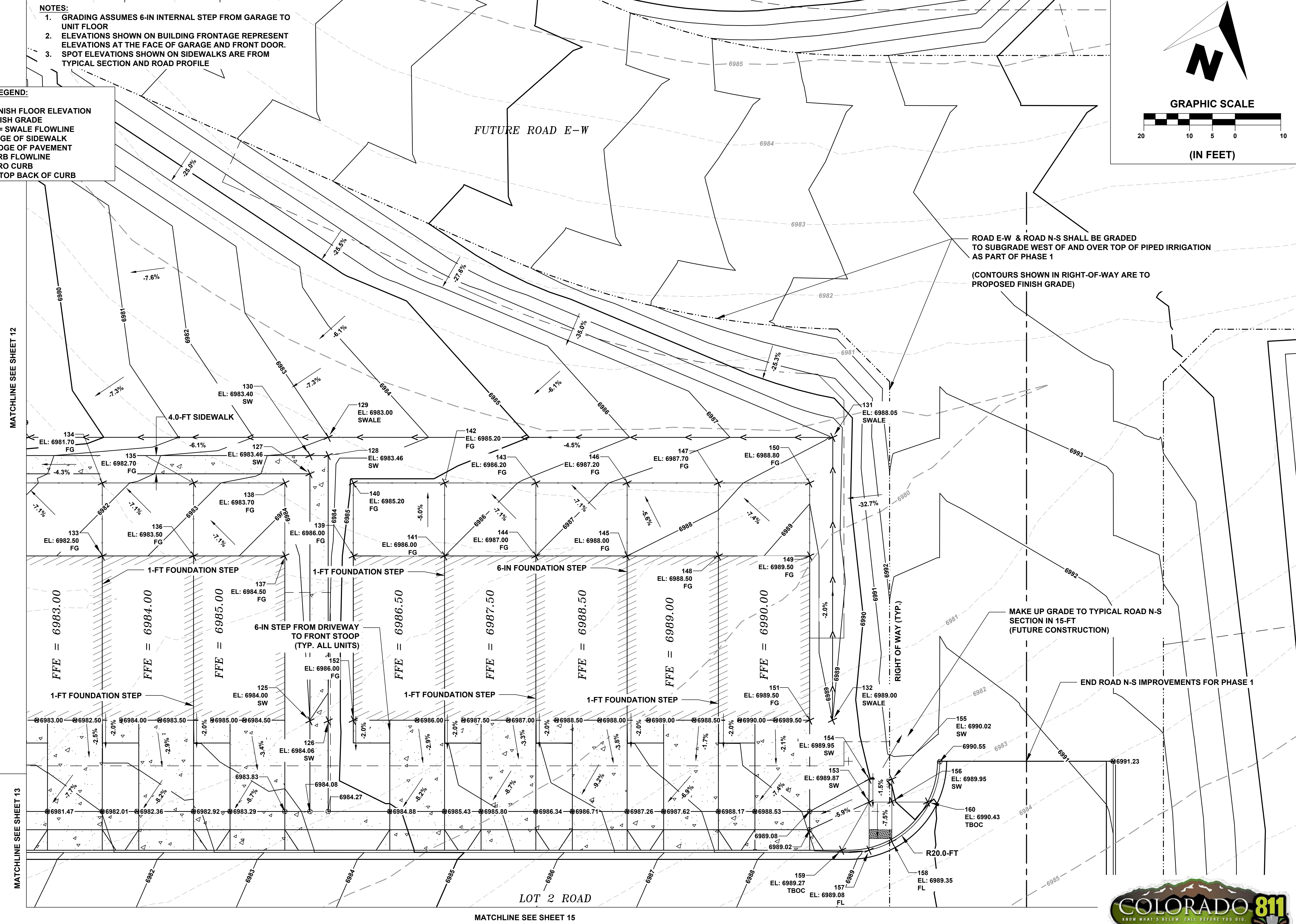


**HAGA PROPERTY  
 PHASE 1  
 2107 BAYFIELD PARKWAY  
 BAYFIELD, CO 81122  
 DETAILED GRADING PLAN 3  
 NORTHEAST**

REVISIONS:

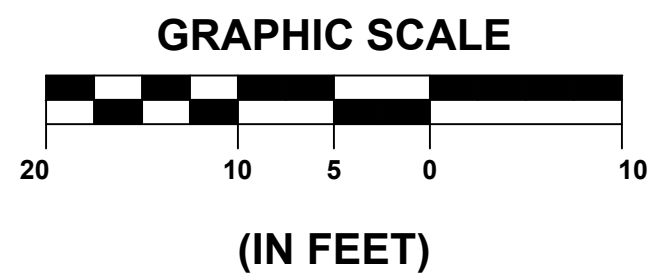
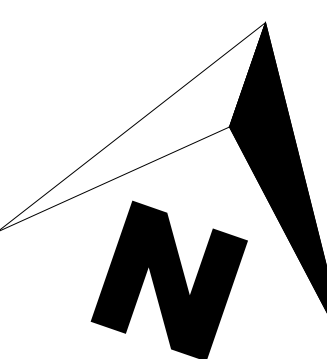
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DATE: 09/14/2023  
 DRAWN BY: HR  
 CHECKED BY: SP



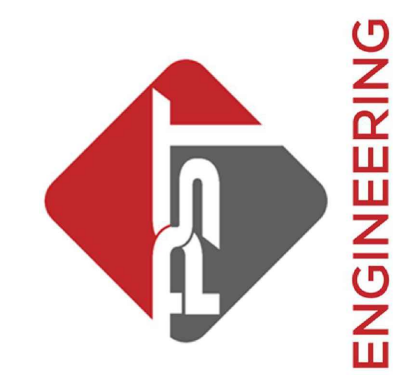
MATCHLINE SEE SHEET 14

LOT 2 ROAD



SHEET 15 OF 24

PST ENGINEERING, LLC  
2615 MAIN AVE, SUITE 209  
DURANGO, CO 81301  
970-403-5492

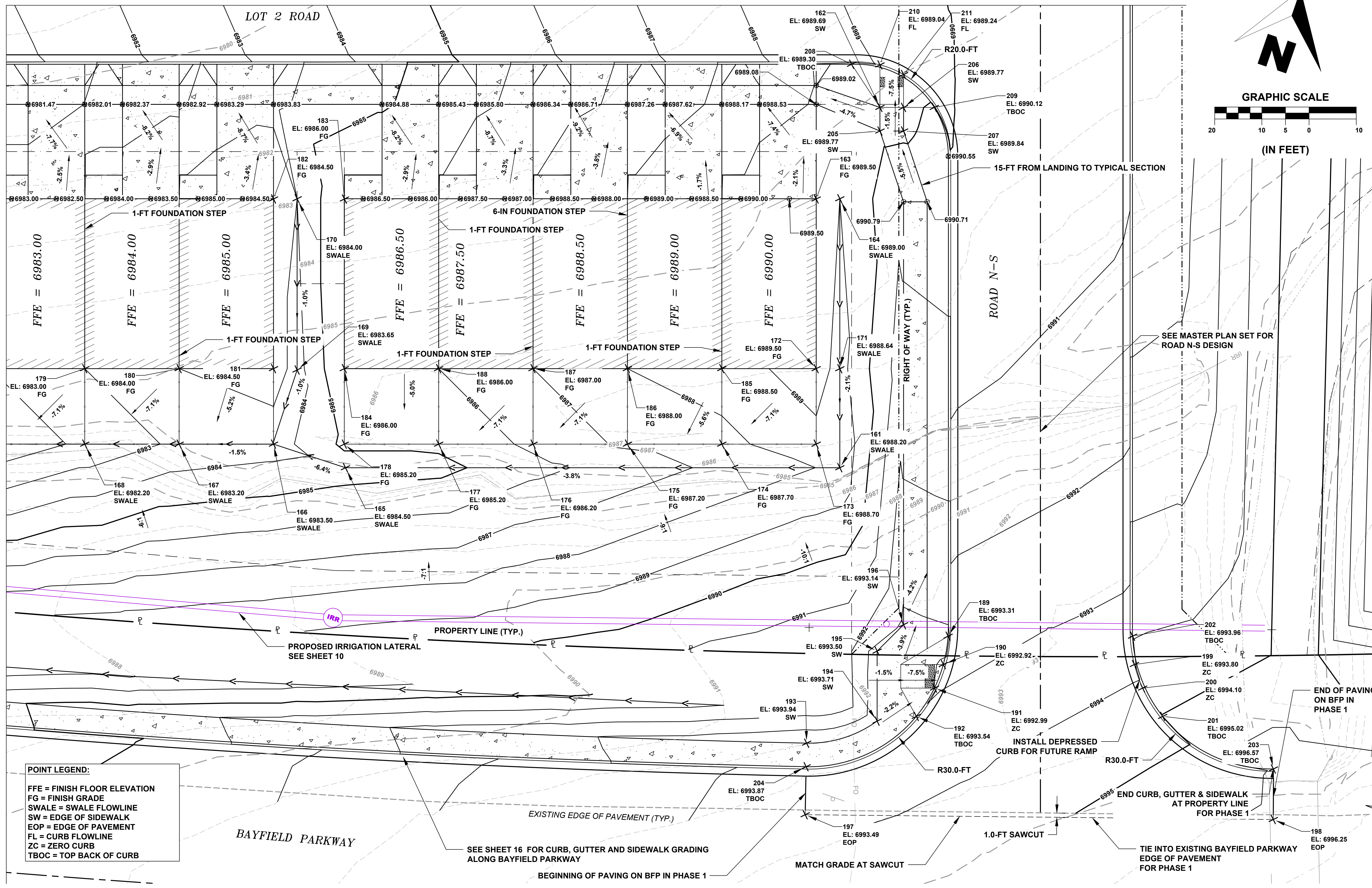
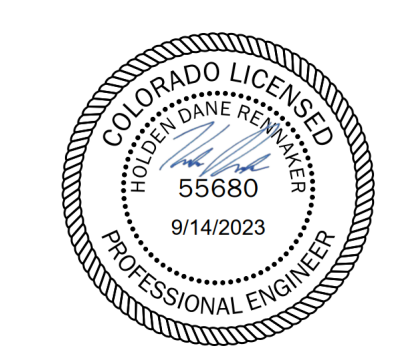


HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
DETAILED GRADING PLAN 4  
SOUTHEAST

REVISIONS:

#	DATE	DESCRIPTION	SHEET

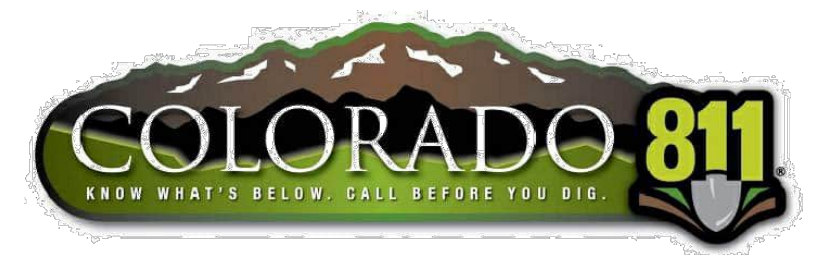
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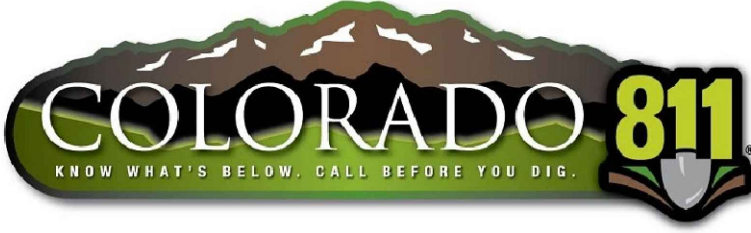


**POINT LEGEND:**

- FFE = FINISH FLOOR ELEVATION
- FG = FINISH GRADE
- SWALE = SWALE FLOWLINE
- SW = EDGE OF SIDEWALK
- EOP = EDGE OF PAVEMENT
- FL = CURB FLOWLINE
- ZC = ZERO CURB
- TBOC = TOP BACK OF CURB

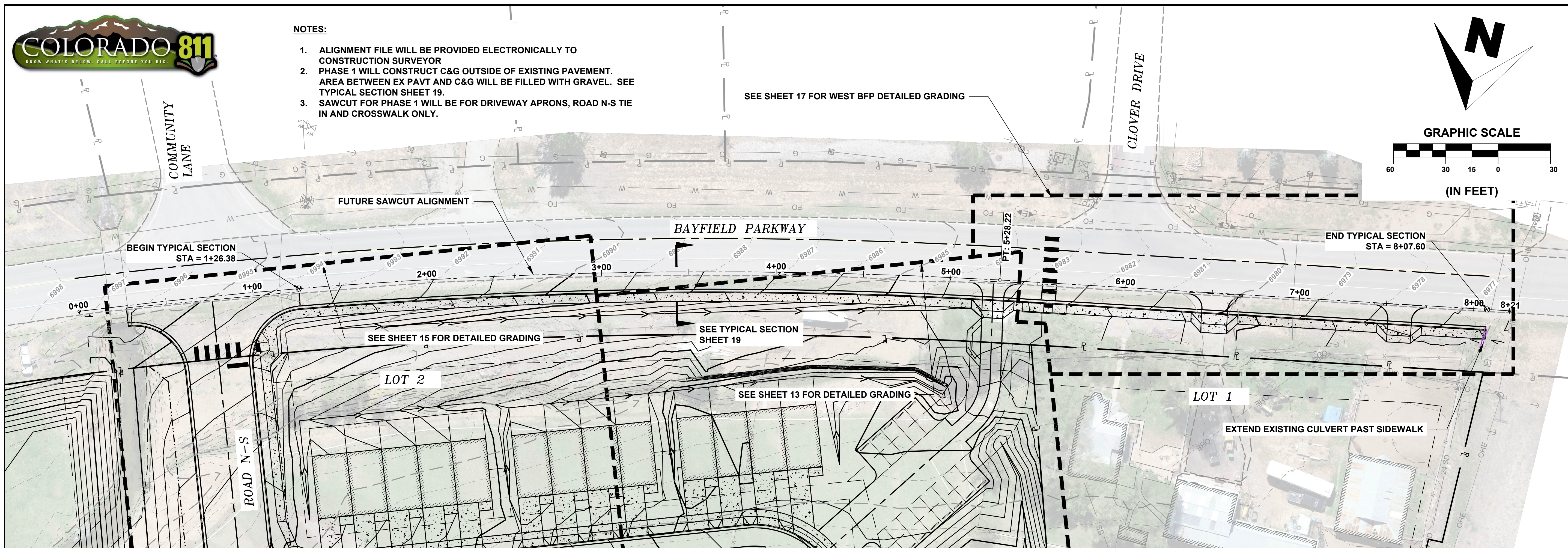
- NOTES:**
1. GRADING ASSUMES 6-IN INTERNAL STEP FROM GARAGE TO UNIT FLOOR
  2. ELEVATIONS SHOWN ON BUILDING FRONTAGE REPRESENT ELEVATIONS AT THE FACE OF GARAGE AND FRONT DOOR.
  3. SPOT ELEVATIONS SHOWN ON SIDEWALKS ARE FROM TYPICAL SECTION AND ROAD PROFILE



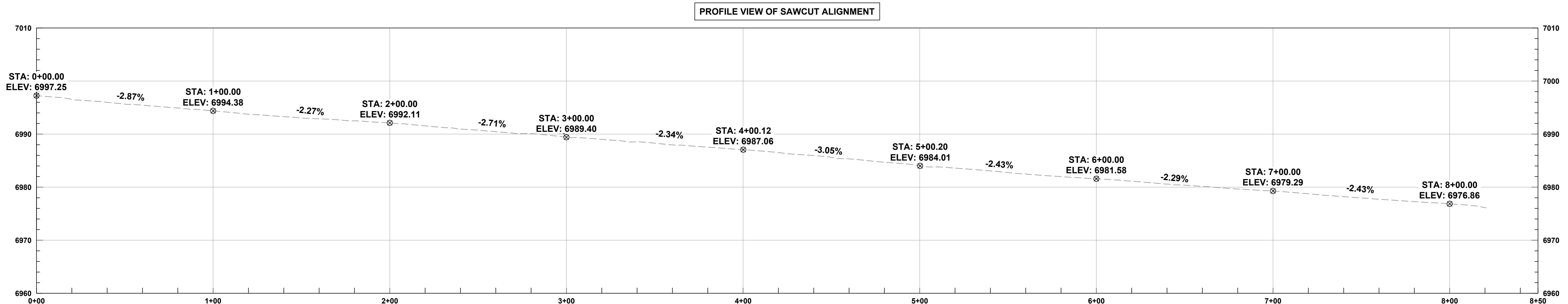


**NOTES:**

1. ALIGNMENT FILE WILL BE PROVIDED ELECTRONICALLY TO CONSTRUCTION SURVEYOR
2. PHASE 1 WILL CONSTRUCT C&G OUTSIDE OF EXISTING PAVEMENT. AREA BETWEEN EX PAVT AND C&G WILL BE FILLED WITH GRAVEL. SEE TYPICAL SECTION SHEET 19.
3. SAWCUT FOR PHASE 1 WILL BE FOR DRIVEWAY APRONS, ROAD N-S TIE IN AND CROSSWALK ONLY.

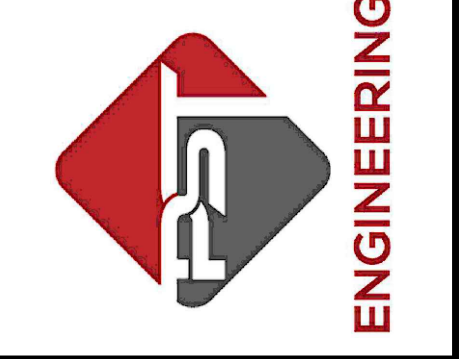


PROFILE VERTICAL EXAGGERATION: 3X



SHEET  
**16**  
OF  
**24**

**PST ENGINEERING, LLC**  
2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492



**HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
BAYFIELD PARKWAY  
IMPROVEMENTS**

REVISIONS:

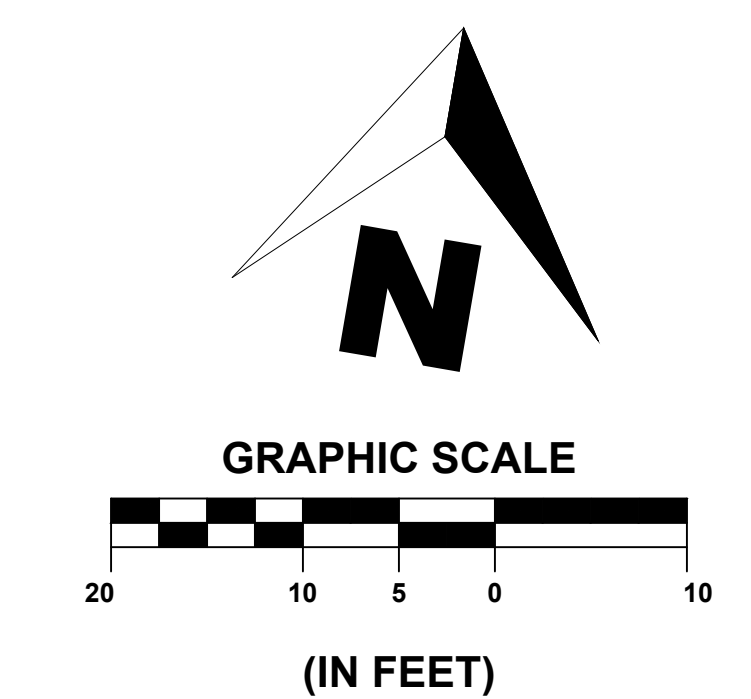
#	DATE	DESCRIPTION	SHEET

DATE: 09/14/2023  
DRAWN BY: HR  
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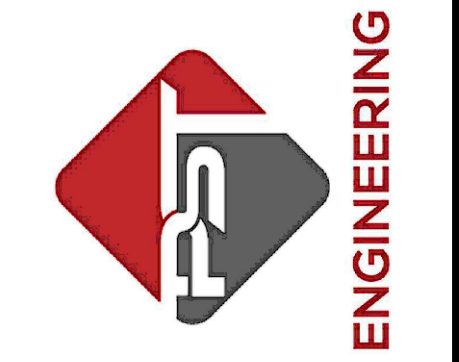


**NOTE:**  
 1. SAWCUT FOR PHASE 1 WILL BE FOR DRIVEWAY APRONS, ROAD N-S TIE IN AND CROSSWALK ONLY.



**SHEET**  
 17 OF 24

**PST ENGINEERING, LLC**  
 2615 MAIN AVE. SUITE 209  
 DURANGO, CO 81301  
 970-403-5492

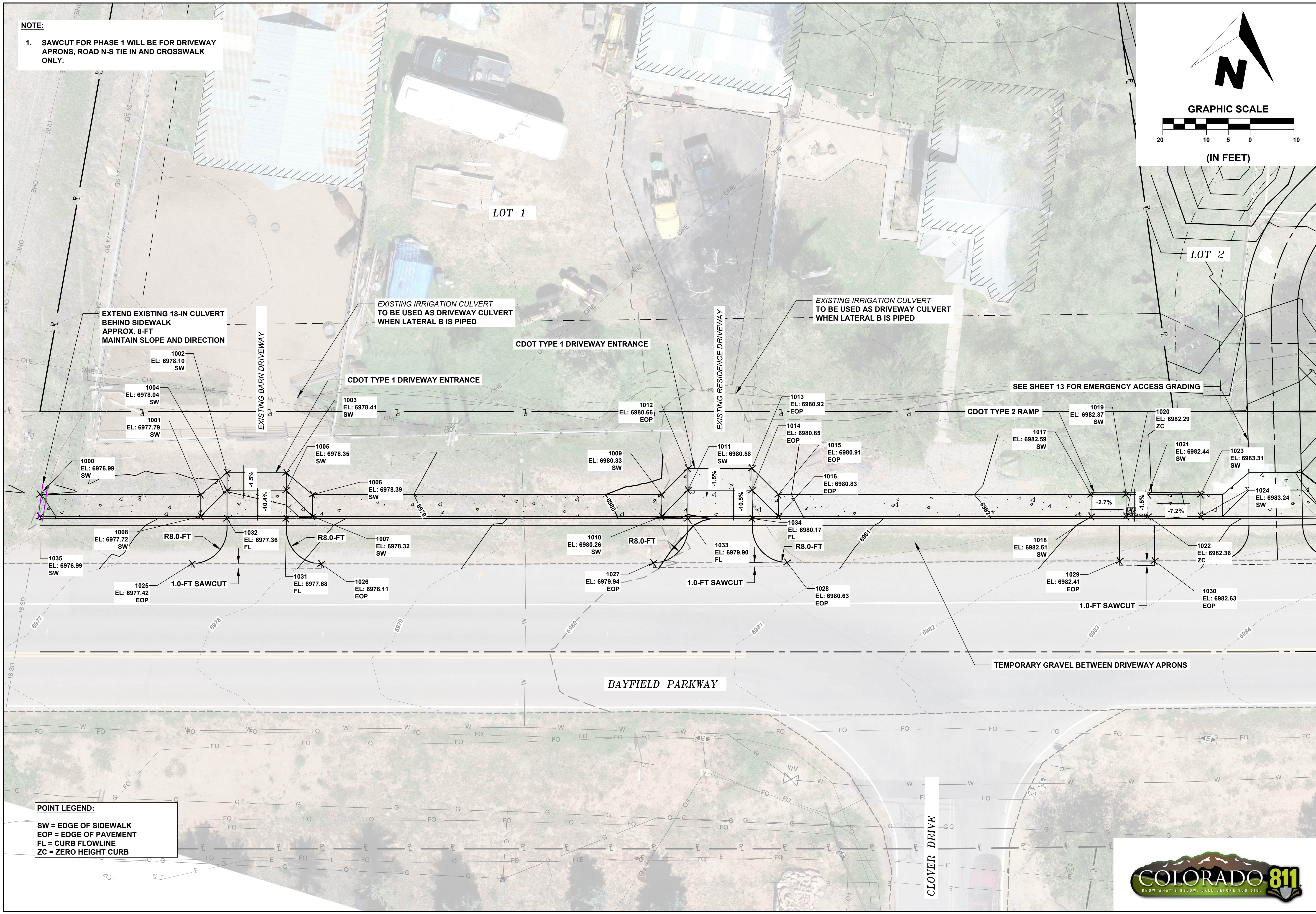


**HAGA PROPERTY  
 PHASE 1  
 2107 BAYFIELD PARKWAY  
 BAYFIELD, CO 81122  
 BAYFIELD PARKWAY  
 DETAILED GRADING PLAN**

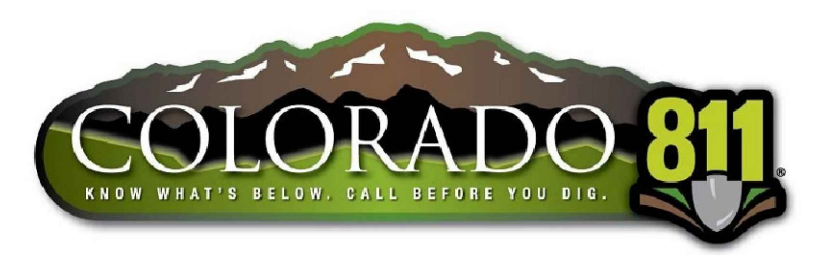
**REVISIONS:**

#	DATE	DESCRIPTION	SHEET

DATE: 09/14/2023  
 DRAWN BY: HR  
 CHECKED BY: SP



**POINT LEGEND:**  
 SW = EDGE OF SIDEWALK  
 EOP = EDGE OF PAVEMENT  
 FL = CURB FLOWLINE  
 ZC = ZERO HEIGHT CURB

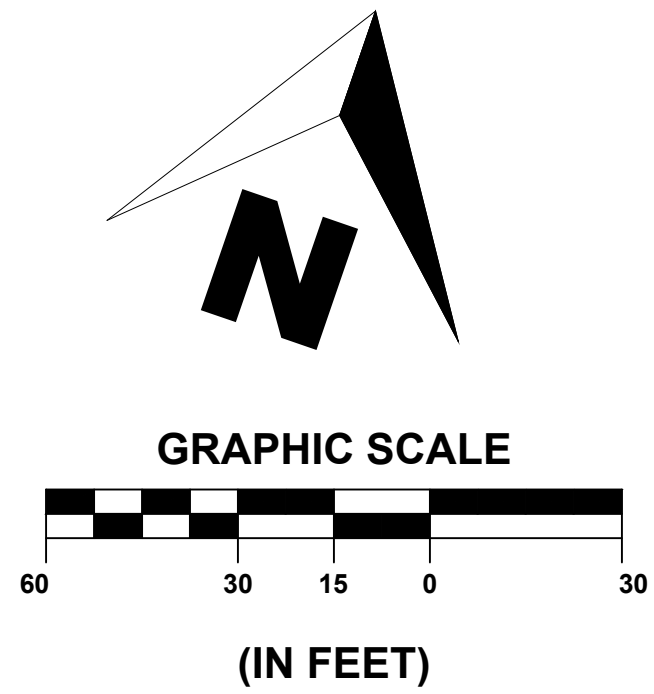


**LEGEND:**

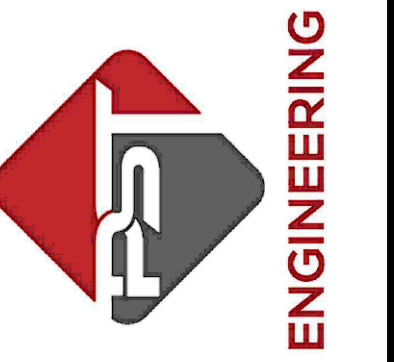
- 1 24-IN WIDE x 8-FT LONG SOLID WHITE LONGITUDINAL CROSSWALK LINES CENTERED ON RAMPS. SPACE 6-FT ON CENTER. MIDDLE STRIPE TO BE CENTERED ON ROAD CENTERLINE
- 2 24-IN SOLID WHITE STOP BARS, LOCATED 4-FT BEHIND CROSSWALK MARKINGS
- 3 4-IN WIDE SOLID WHITE PARKING STRIPE
- 4 18-IN x 27-IN SOLID WHITE TRIANGLE SPACED 6-IN ACROSS TRAVEL LANE

**NOTES:**

- 1. PARKING LINES TO BE WATERBORNE PAINT
- 2. ALL STOP BARS, CROSSWALKS, WORDS & SYMBOLS SHALL BE WATERBORNE PAINT
- 3. SIGNS SHALL CONFORM TO STANDARDS IN LATEST VERSION OF *MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)*
- 4. SIGNS SHALL BE PLACED SO THAT BOTTOM OF SIGN IS 7-FT ABOVE ADJACENT SIDEWALK AND 2-FT AWAY FROM CURB



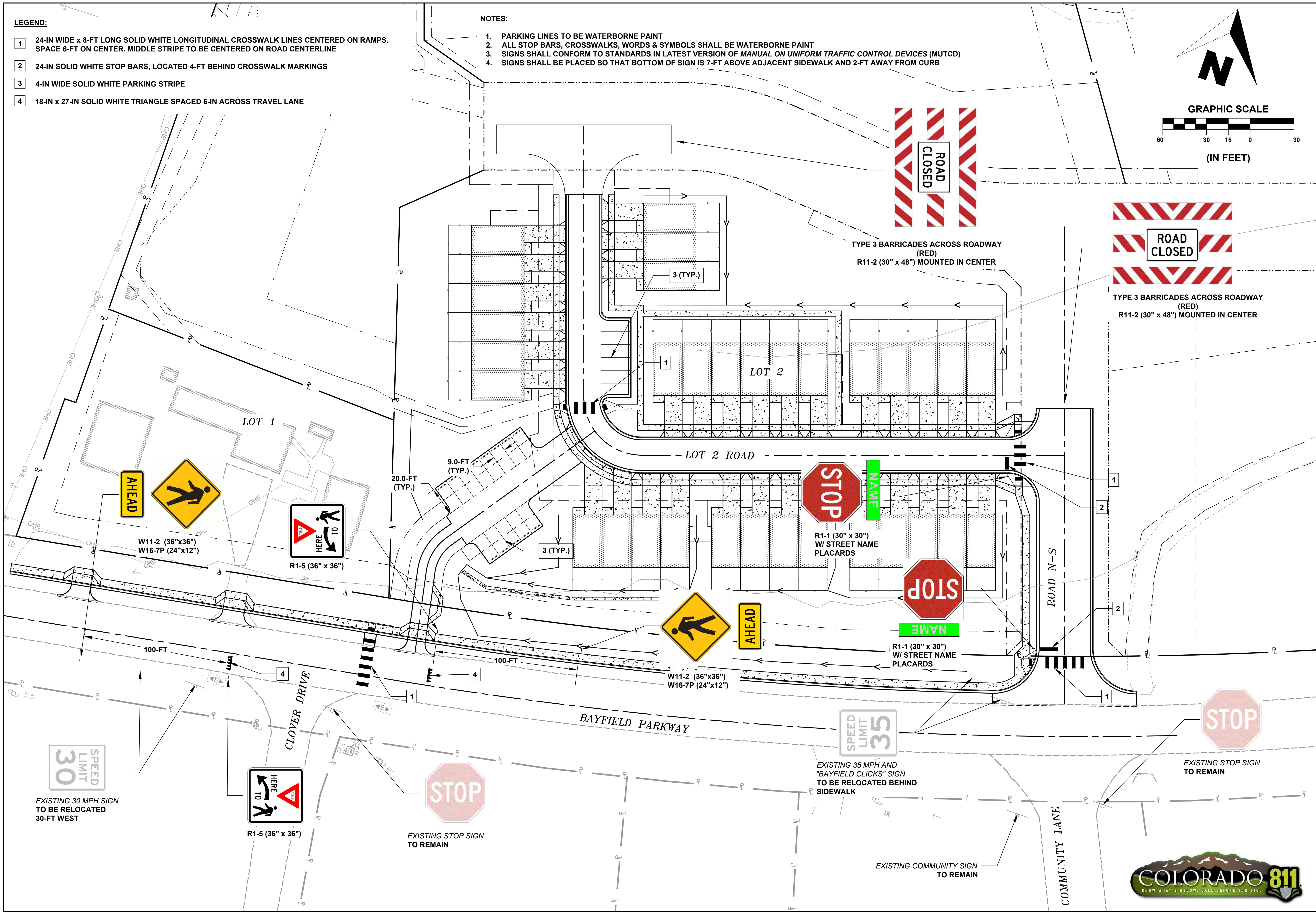
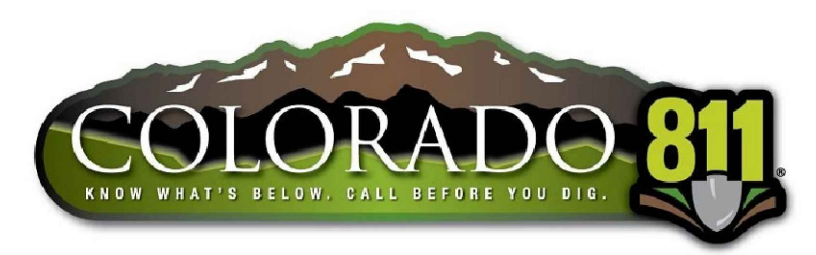
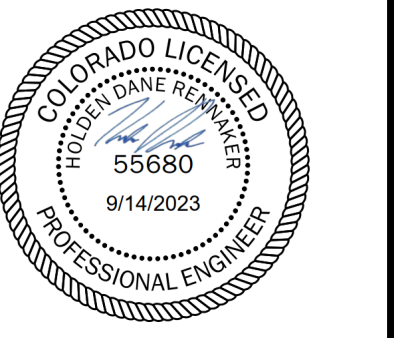
**PST ENGINEERING, LLC**  
2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492

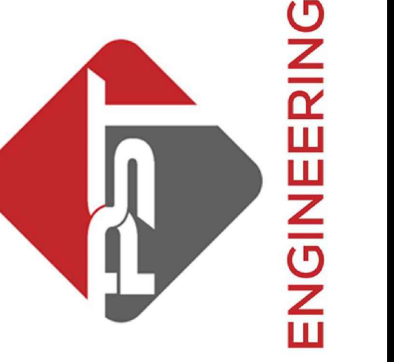


**HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
SIGNING AND STRIPING PLAN**

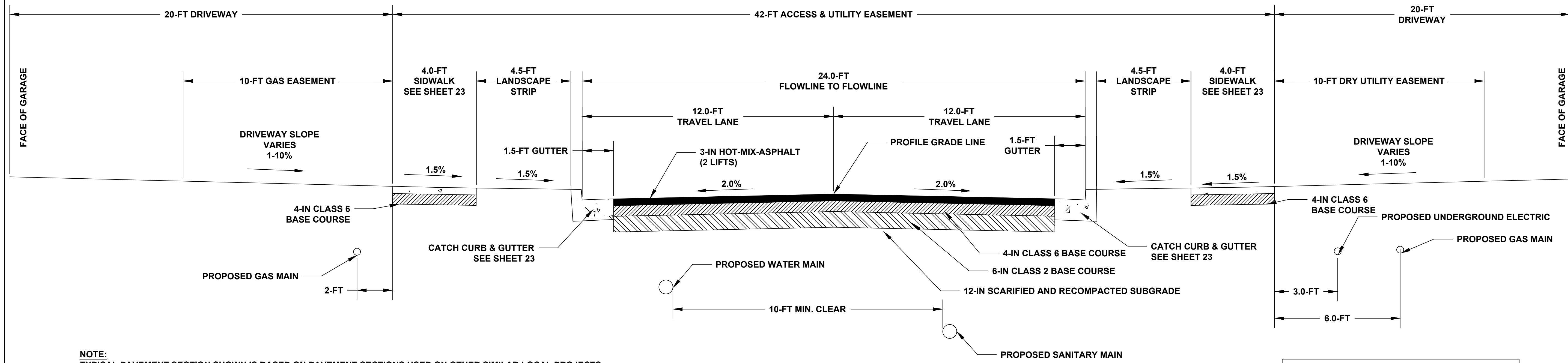
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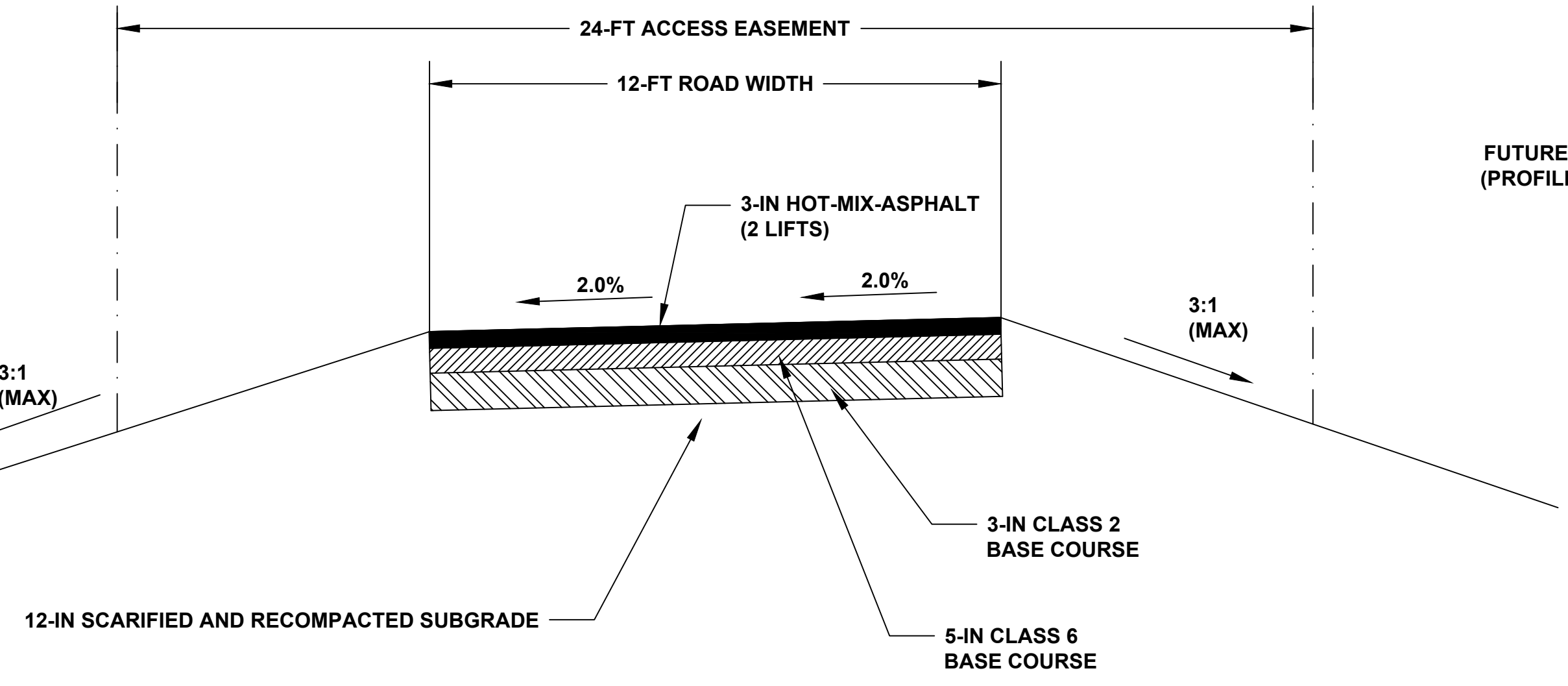
HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
TYPICAL SECTIONS



LOT 2 ROAD TYPICAL SECTION  
NOT TO SCALE

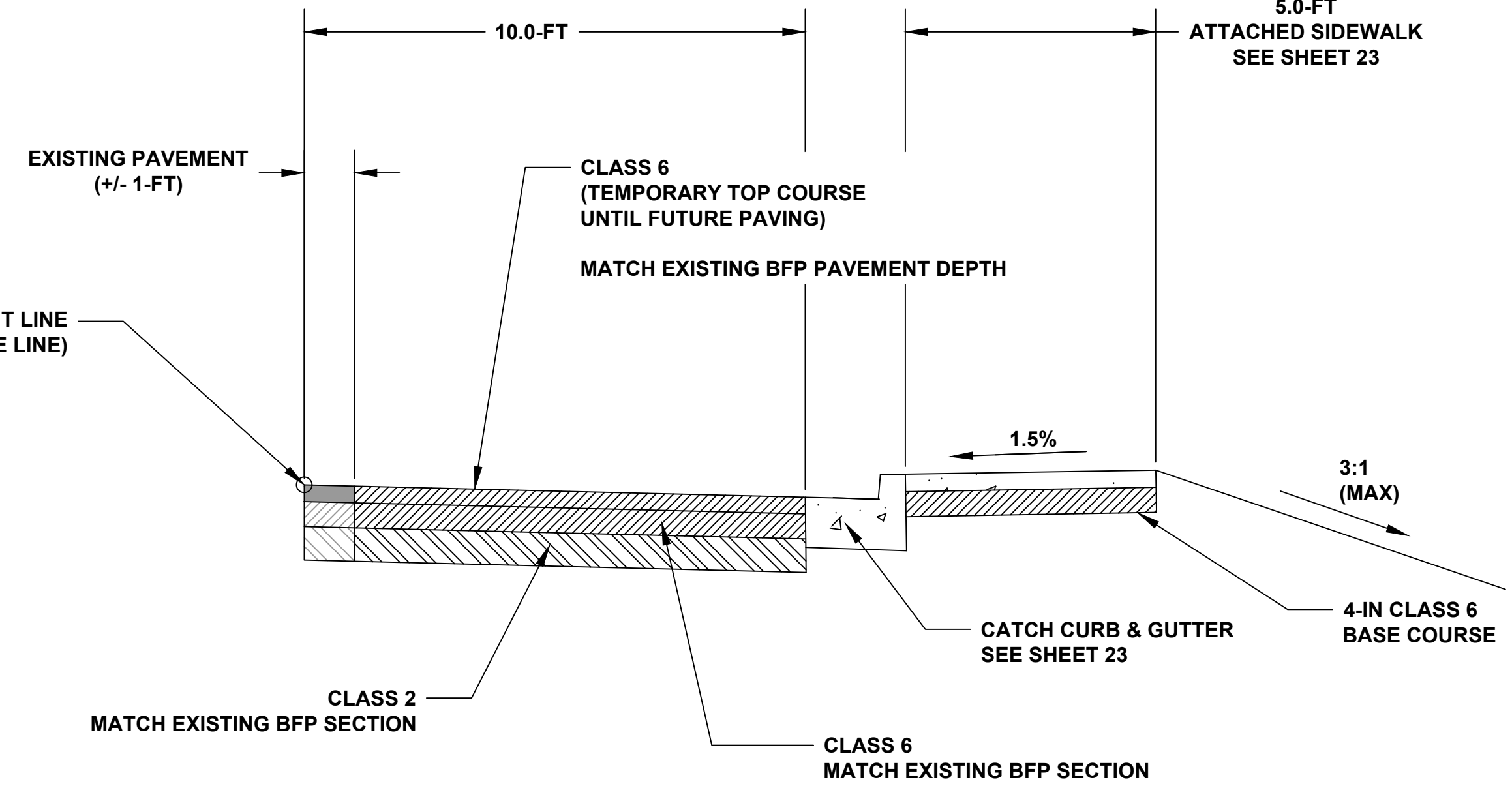
NOTE:  
TYPICAL PAVEMENT SECTION SHOWN IS BASED ON PAVEMENT SECTIONS USED ON OTHER SIMILAR LOCAL PROJECTS. PRELIMINARY GEOTECHNICAL REPORT DID NOT RECOMMEND A PAVEMENT DESIGN BASED ON THE LACK OF TRAFFIC DATA. SECTION SHALL BE CONFIRMED OR MODIFIED BASED ON A FINAL SECTION RECOMMENDATION FROM TRAUTNER GEOTECH WHO WILL PERFORM TESTING FOLLOWING THE 2023 IRRIGATION SEASON. PST ASSUMES NO RESPONSIBILITY FOR THE LONGEVITY OF THIS SECTION.

SEE MASTER PLAN SET FOR  
ROAD N-S TYPICAL SECTION



EMERGENCY ACCESS ROAD SECTION  
NOT TO SCALE

NOTE:  
TYPICAL PAVEMENT SECTION SHOWN IS BASED ON PAVEMENT SECTIONS USED ON OTHER SIMILAR LOCAL PROJECTS. PRELIMINARY GEOTECHNICAL REPORT DID NOT RECOMMEND A PAVEMENT DESIGN BASED ON THE LACK OF TRAFFIC DATA. SECTION SHALL BE CONFIRMED OR MODIFIED BASED ON A FINAL SECTION RECOMMENDATION FROM TRAUTNER GEOTECH WHO WILL PERFORM TESTING FOLLOWING THE 2023 IRRIGATION SEASON. PST ASSUMES NO RESPONSIBILITY FOR THE LONGEVITY OF THIS SECTION.

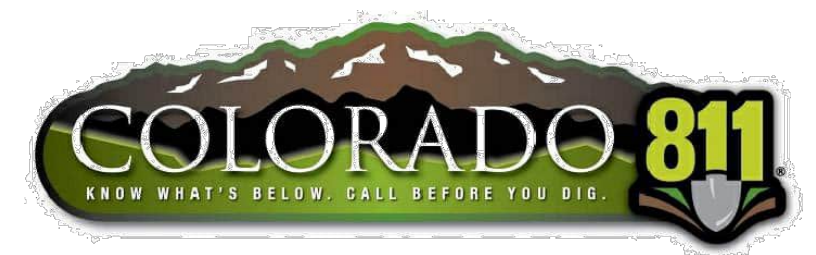
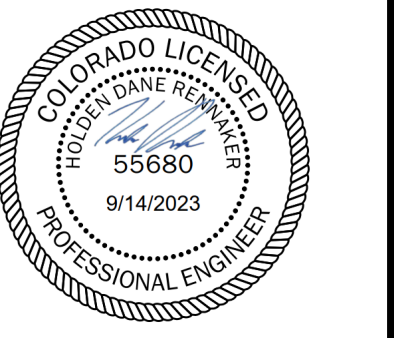


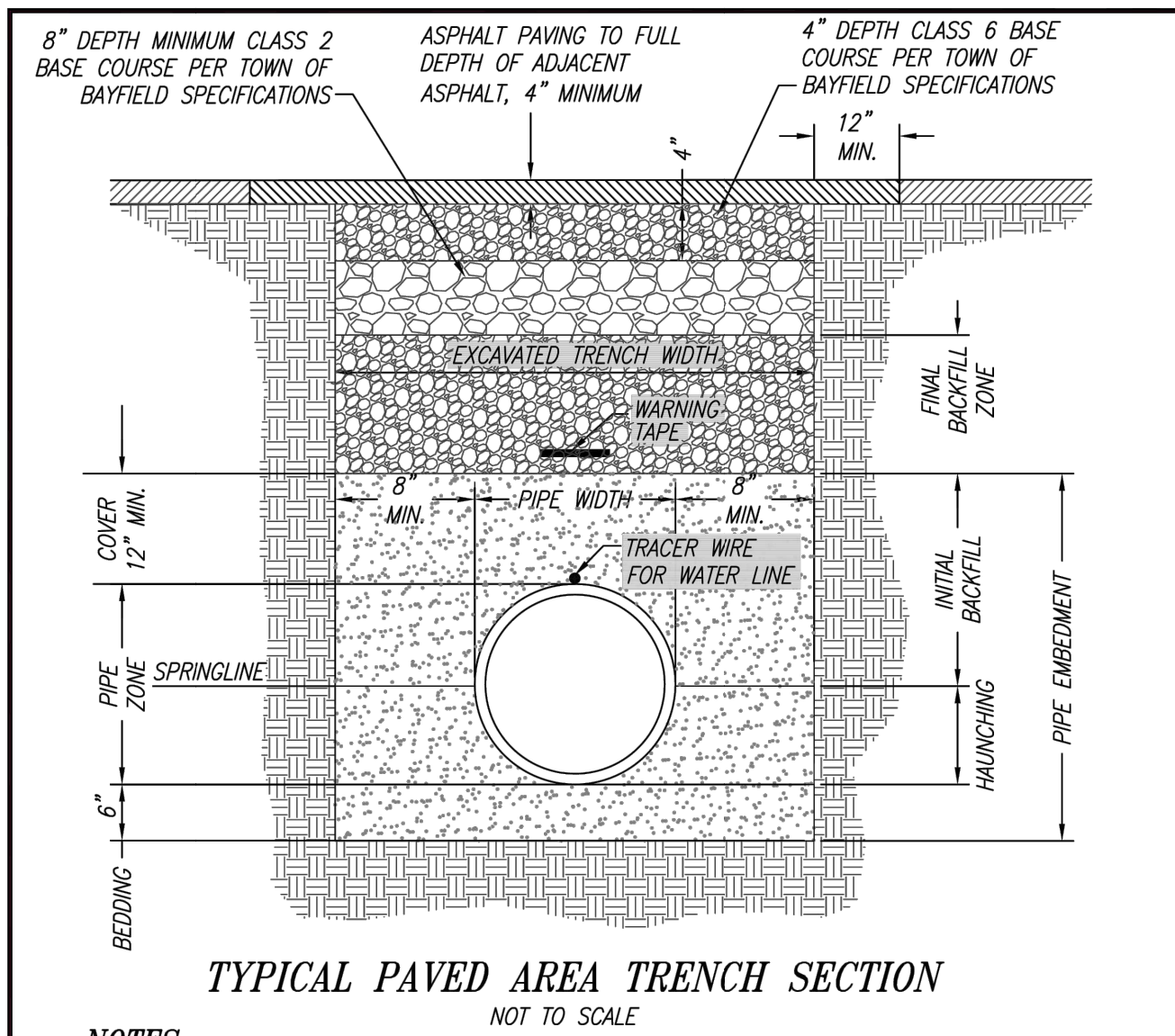
BAYFIELD PARKWAY WIDENING SECTION  
NOT TO SCALE

NOTE:  
TYPICAL PAVEMENT SECTION SHOWN IS BASED ON PAVEMENT SECTIONS USED ON OTHER SIMILAR LOCAL PROJECTS. PRELIMINARY GEOTECHNICAL REPORT DID NOT RECOMMEND A PAVEMENT DESIGN BASED ON THE LACK OF TRAFFIC DATA. SECTION SHALL BE CONFIRMED OR MODIFIED BASED ON A FINAL SECTION RECOMMENDATION FROM TRAUTNER GEOTECH WHO WILL PERFORM TESTING FOLLOWING THE 2023 IRRIGATION SEASON. PST ASSUMES NO RESPONSIBILITY FOR THE LONGEVITY OF THIS SECTION.

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DATE	DESCRIPTION	
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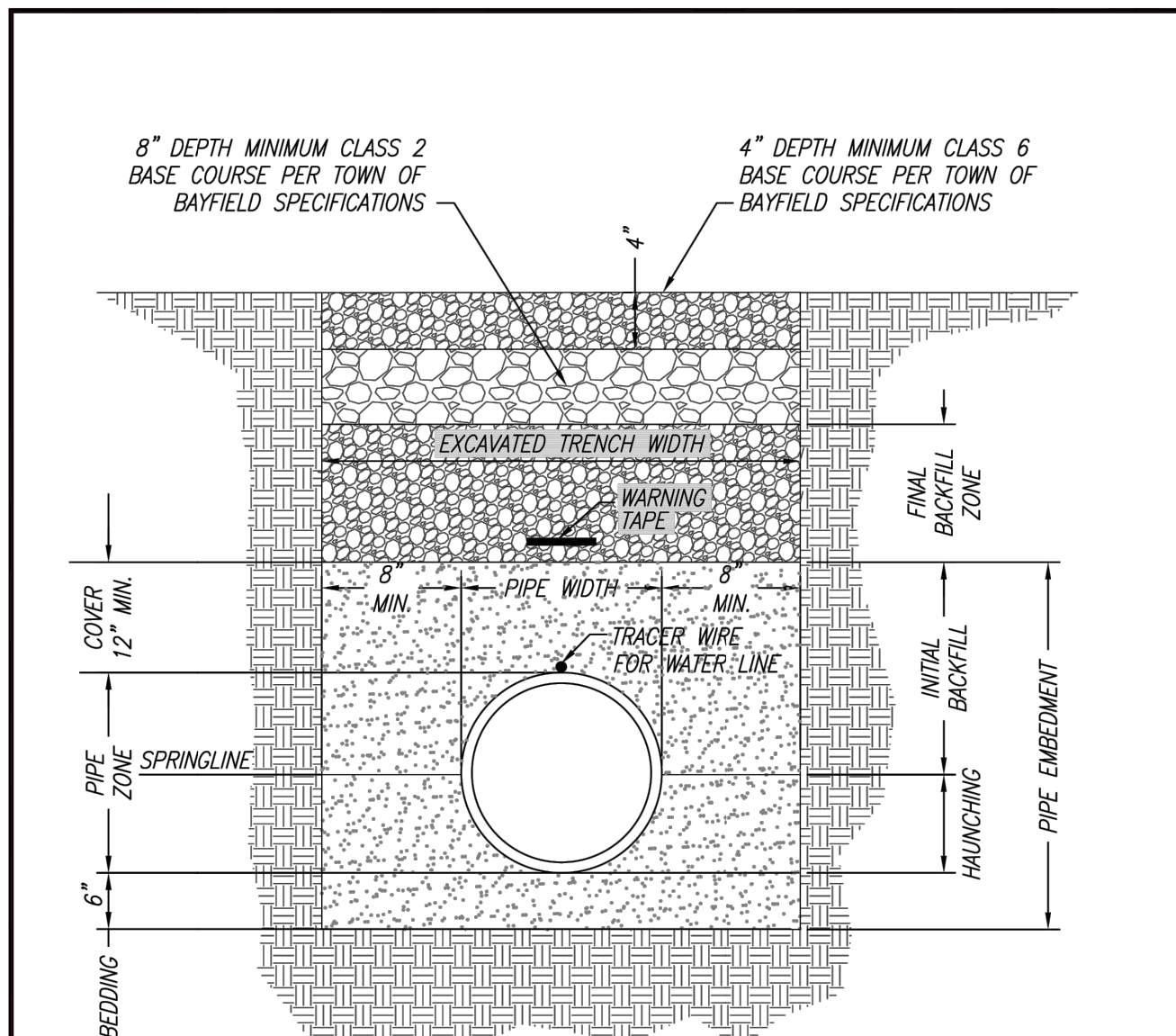
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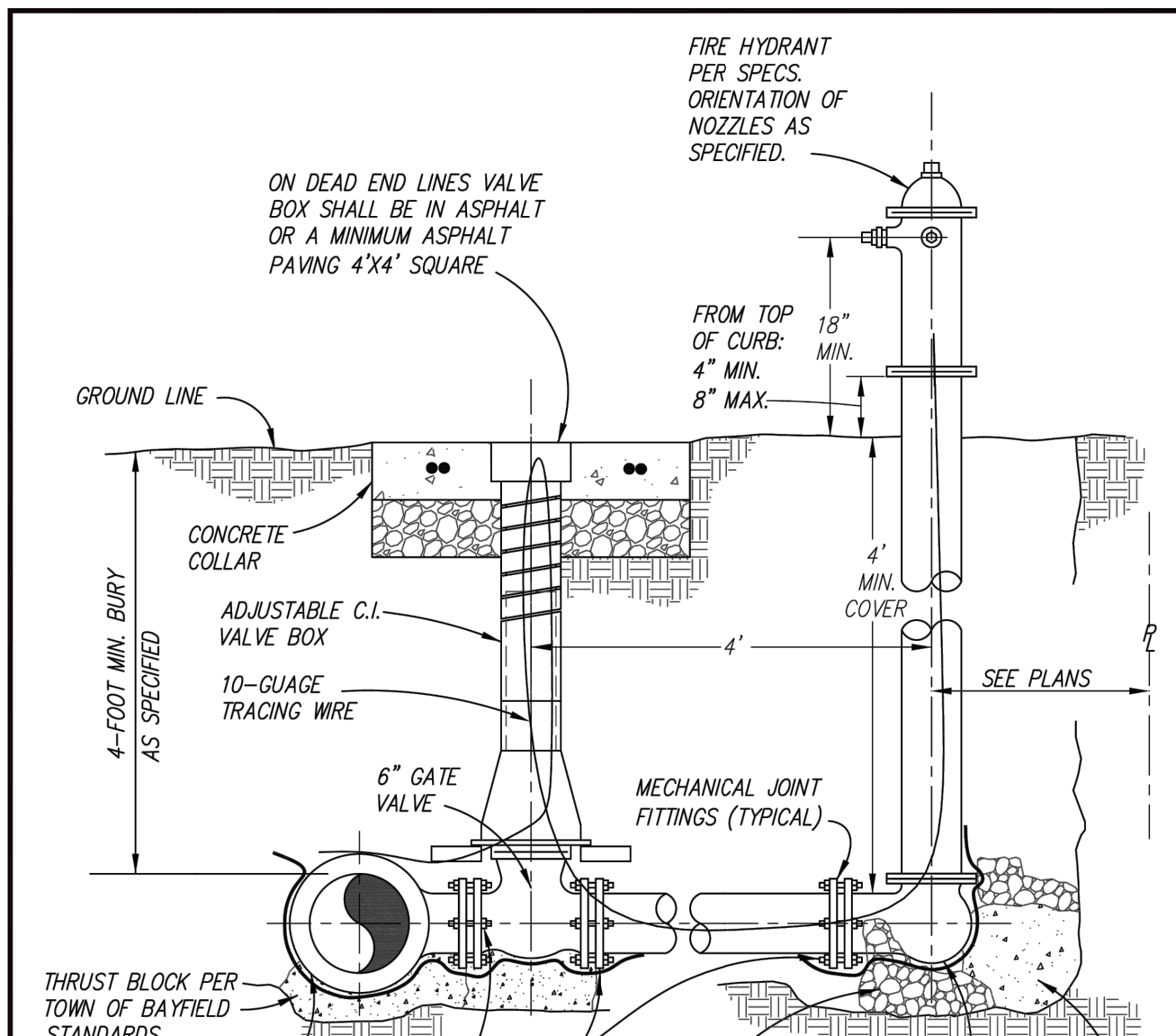


- NOTES:**
1. ALL EMBEDMENT MATERIAL FOR PIPE (BEDDING, HAUNCHING & INITIAL BACKFILL) TO CONFORM TO THE TOWN OF BAYFIELD STANDARDS AND SPECIFICATIONS.
  2. DENSITY TESTING TO BE IN ACCORDANCE WITH TOWN OF BAYFIELD REQUIREMENTS.
  3. MINIMUM TRENCH WIDTH TO BE IN ACCORDANCE WITH TOWN OF BAYFIELD SPECIFICATIONS.
  4. ASPHALT SURFACES SHALL BE SAW-CUT AN ADDITIONAL 8" TO 12" BEYOND THE PROPOSED TRENCH SIDEWALLS TO ALLOW THE PATCH TO BE SUPPORTED ON ADJACENT UNDISTURBED MATERIAL. ASPHALT PATCHING WILL BE PERFORMED WITH "HOT-MIX" ASPHALT CONFORMING TO A C.D.O.T. "5X" OF "5" GRADATION. ASPHALT WILL BE COMPACTED TO 92% TO 96% OF THE MAXIMUM THEORETICAL DENSITY.
  5. THE FINAL BACKFILL ZONE TO BE IN ACCORDANCE WITH TOWN OF BAYFIELD SPECIFICATIONS. FINAL BACKFILL MATERIAL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DEFINED BY ASTM D1557 (MODIFIED PROCTOR). FIELD DENSITY TESTS WILL BE PERFORMED ON FINAL BACKFILL MATERIAL AT 200 FT. INTERVALS WITH TESTS PERFORMED AT MID-DEPTH AND FINAL GRADE OF THE FINAL BACKFILL ZONE. THE FIELD DENSITY TESTS SHALL BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW.

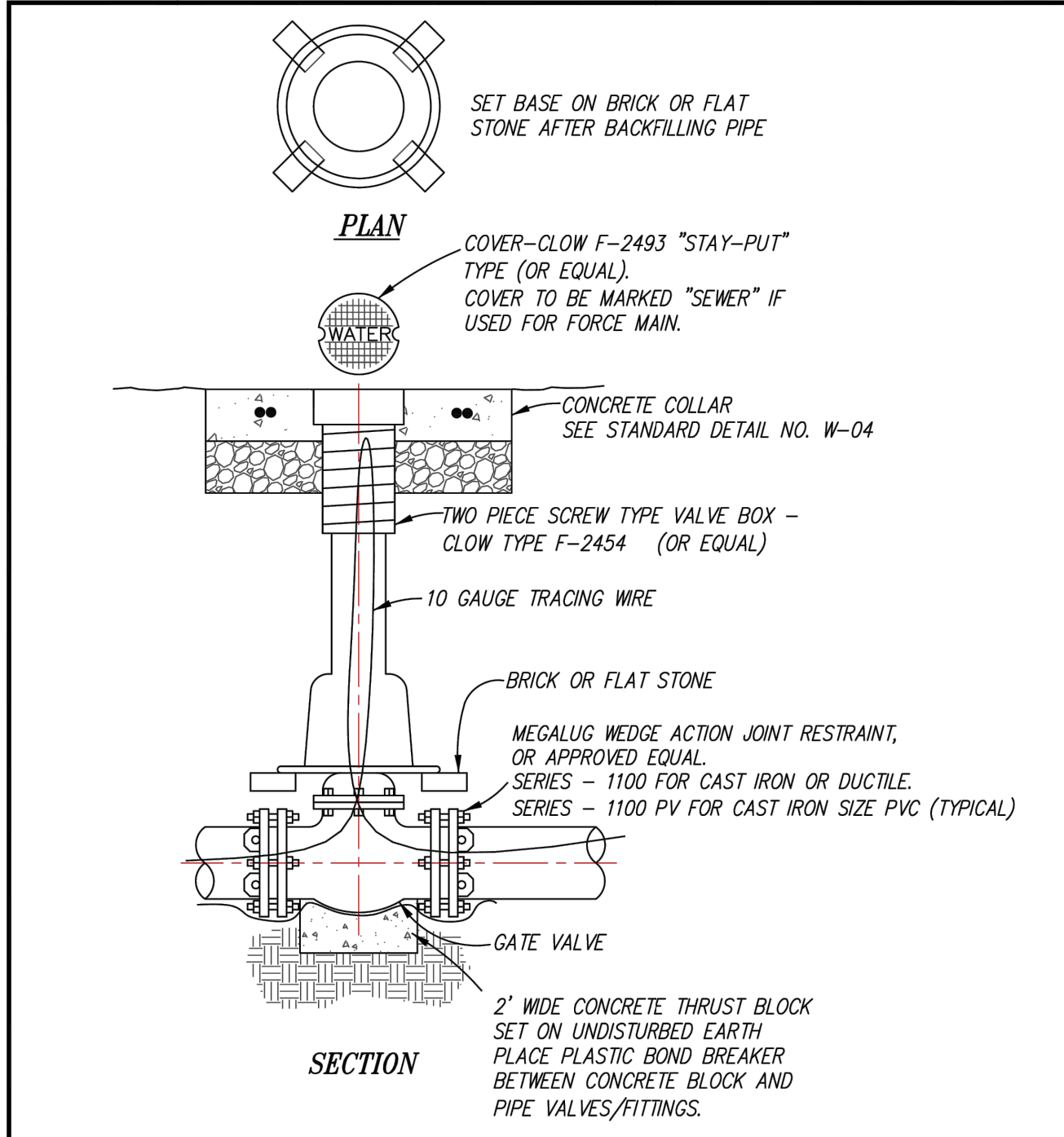
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	SHEET 1 OF 2	STANDARD DETAIL No. T-01



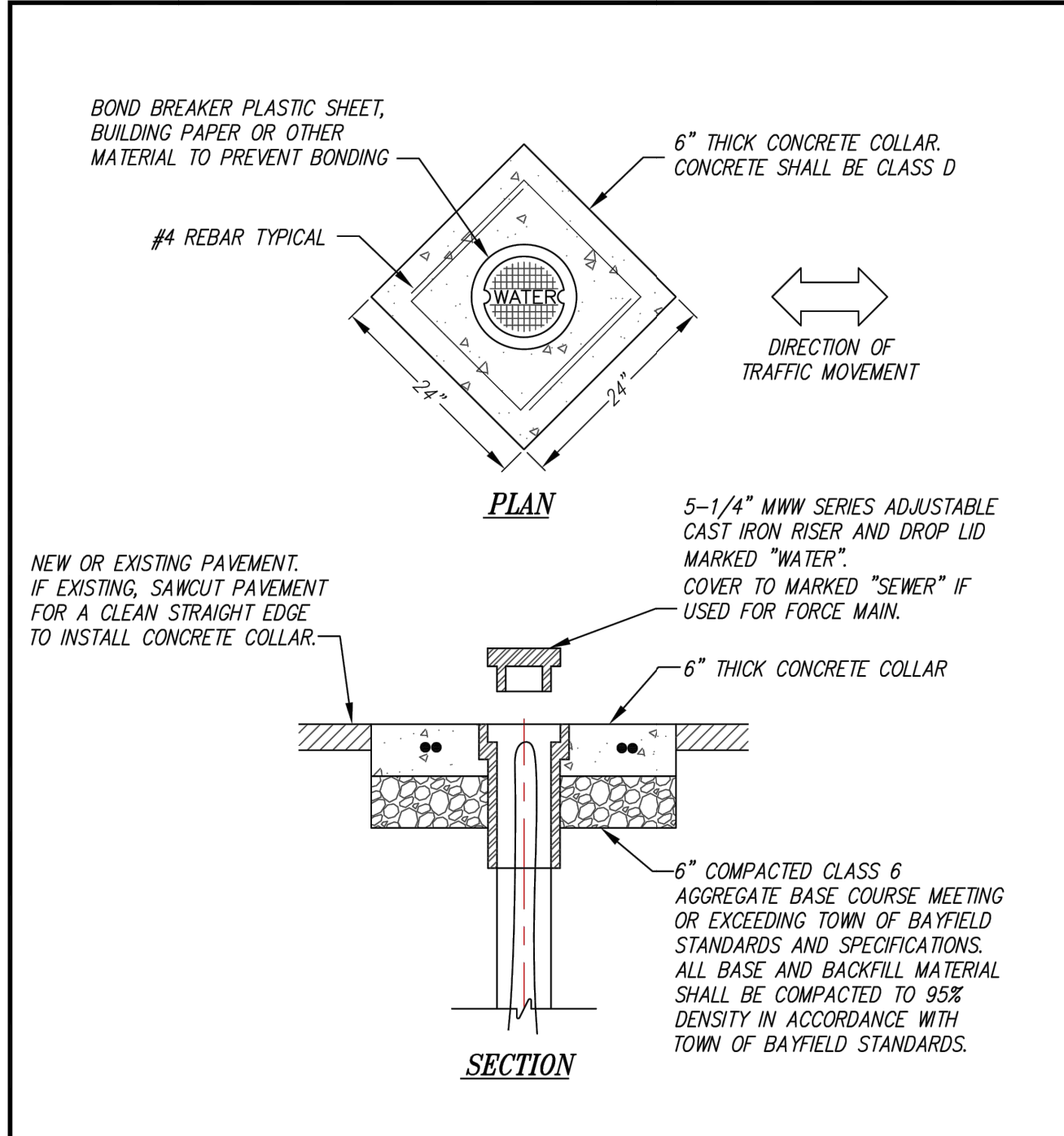
CONSTRUCTION STANDARDS	TRENCH DETAIL	TOWN OF BAYFIELD, CO
	SHEET 2 OF 2	STANDARD DETAIL No. T-01



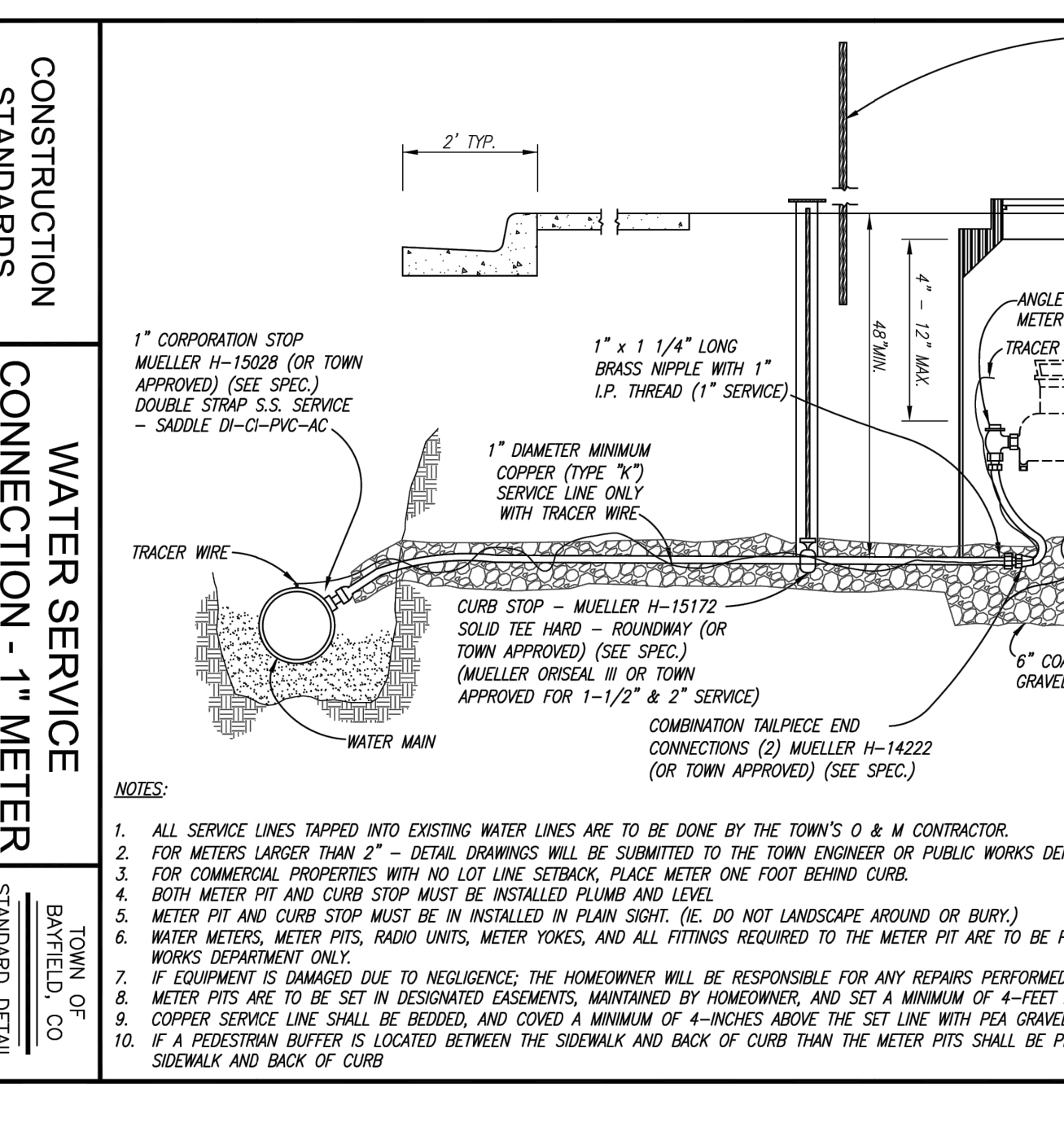
CONSTRUCTION STANDARDS	FIRE HYDRANT DETAIL	TOWN OF BAYFIELD, CO
	SHEET 1 OF 1	STANDARD DETAIL No. W-01



CONSTRUCTION STANDARDS	GATE VALVE DETAIL	TOWN OF BAYFIELD, CO
	SHEET 1 OF 1	STANDARD DETAIL No. W-02

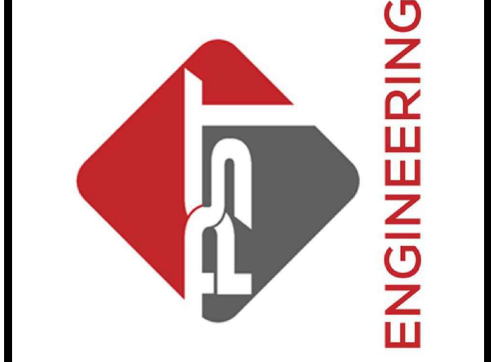


CONSTRUCTION STANDARDS	CONCRETE WATER VALVE COLLAR DETAIL	TOWN OF BAYFIELD, CO
	SHEET 1 OF 1	STANDARD DETAIL No. W-04



CONSTRUCTION STANDARDS	WATER SERVICE CONNECTION - 1\"/>	TOWN OF BAYFIELD, CO
	SHEET 1 OF 1	STANDARD DETAIL No. W-05

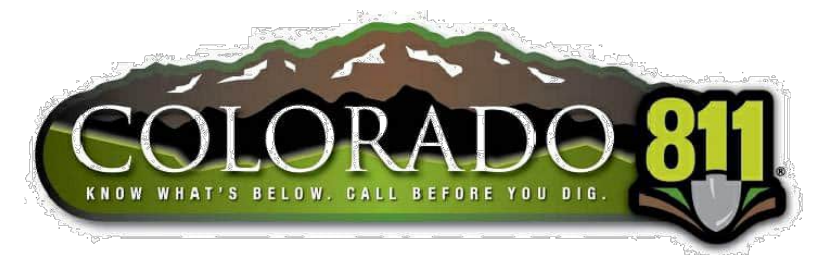
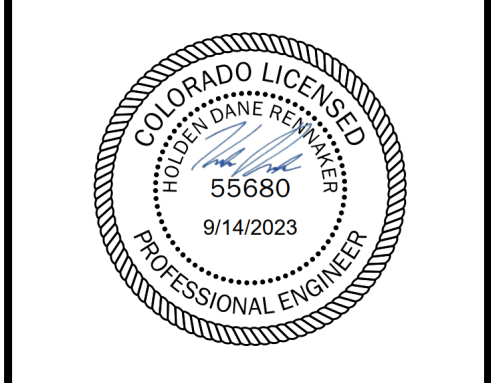
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2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492



HAGA PROPERTY  
PHASE 1  
2107 BAYFIELD PARKWAY  
BAYFIELD, CO 81122  
DETAILS 1

REVISIONS:	DATE	DESCRIPTION	SHEET
#			

DATE: 09/14/2023  
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**MEGALUGS, OR APPROVED EQUAL, ARE REQUIRED AT ALL FITTINGS**

**TEE**      **DEAD END**      **BEND HORIZONTAL OR BOTTOM OF VERTICAL**

**WYE**      **CROSS W/ DEAD END BRANCH**

**TEE W/ DEAD END BRANCH**      **SECTION A-A**

**NOTES:**

- ALL JOINTS, PIPE, AND FITTINGS SHALL BE WRAPPED WITH PLASTIC BOND BREAKER AT CONCRETE INTERFACES.
- ALL THRUST BLOCKING SHALL BE CAST-IN-PLACE CONCRETE, C-101 CLASS B, TYPE II PORTLAND CEMENT, HAVING A MINIMUM YIELD STRENGTH OF 3,000 P.S.I.
- THRUST BLOCKING SHALL BE CAST AGAINST UNDISTURBED EARTH. FORMS SHALL BE USED AS REQUIRED TO OBTAIN ADEQUATE BEARING AREA AND TO CONFINE THE CONCRETE THRUST BLOCKING SHALL BEAR ON THE FITTING OR END CAP ONLY AND SHOULD NOT BE ALLOWED TO SPILL OVER THE JOINT OR AGAINST THE PIPE.

**CONSTRUCTION STANDARDS**      **THRUST BLOCKS**      **TOWN OF BAYFIELD, CO**  
STANDARD DETAIL NO. W-06

SHEET 1 OF 2

**TABLE OF BEARING AREAS IN SQ. FT FOR CONCRETE THRUST BLOCKING**

**NOTE: MEGALUGS, OR APPROVED EQUAL, ARE REQUIRED UNLESS APPROVED BY TOWN ENGINEER**

FOR 150 P.S.I. INTERNAL STATIC PRESSURE AND 2000 LBS. PER SQ. FT. SOIL BEARING CAPACITY.

PIPE SIZE	BENDS				TEES	PLUGS
	90°	45°	22 1/2°	11 1/4°		
4	1.50	0.75	0.50	0.25	1.00	1.00
6	3.00	1.75	1.00	0.50	2.25	2.25
8	5.50	3.00	1.50	1.00	3.75	3.75
10	8.50	4.50	2.50	1.50	6.00	6.00
12	12.00	6.50	3.50	1.75	8.50	8.50
14	16.50	9.00	4.50	2.25	11.50	11.50
16	21.50	11.50	6.00	3.00	15.00	15.00
18	27.00	14.75	7.50	3.75	19.00	19.00
20	33.50	18.00	9.25	4.75	23.50	23.50
24	48.00	26.00	13.25	6.75	34.00	34.00
30	75.25	40.75	20.75	10.50	53.00	53.00
36	108.25	58.50	30.00	15.00	76.50	76.50

AREAS GIVEN IN TABLE ARE BASED UPON AN INTERNAL STATIC PRESSURE OF 150 P.S.I. AND A SOIL BEARING CAPACITY OF 2000 LBS. PER SQ. FT. BEARING AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING THE TABULATED VALUES BY A CORRECTION FACTOR "F".

$F = \frac{\text{ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS.}}{\text{ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.}}$

EXAMPLE: TO FIND BEARING AREA FOR 8" - 90° BEND WITH A STATIC INTERNAL PRESSURE OF 100 P.S.I. AND WITH A SOIL BEARING CAPACITY OF 3000 LBS. PER SQ. FT.

$F = 1:3 = .33$  TABULATED VALUE = 550 SQ. FT.  
 $0.33 \times 550 = 1.82 = 2$  SQ. FT. OR 2 FT. LONG BY 1 FT. HIGH

**NOTES:**

- CONTRACTOR TO CONTACT GEOTECHNICAL ENGINEER FOR ACTUAL SOIL BEARING CAPACITY.
- TEST PRESSURE OF 75 PSI HAS BEEN APPROXIMATED BASED ON THE TOWN OF BAYFIELD PUBLIC WORKS RECENT HYDRANT TESTS.

**CONSTRUCTION STANDARDS**      **THRUST BLOCKS**      **TOWN OF BAYFIELD, CO**  
STANDARD DETAIL NO. W-06

SHEET 2 OF 2

**GENERAL NOTES:**

- CONCRETE MANHOLES SHALL BE PER SPECIFICATIONS.
- ALL CEMENT USED IN MORTAR, CONCRETE BASES, GRADE RINGS, RISER SECTIONS, CONES AND FLAT TOPS, FOR SANITARY SEWER MANHOLES, SHALL BE PER SPECIFICATIONS.
- MANHOLE RISER SECTION, CONES, FLAT TOPS AND GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE CONFORMING TO SPECIFICATIONS.
- FOR PIPE SIZES GREATER THAN 15", A 60" MANHOLE WILL BE REQUIRED.
- ALL SANITARY SEWER MANHOLE COVERS SHALL BE VENTED AND HAVE THE WORD "SEWER" CAST INTO THE LID.
- COMPACT BACKFILL TO 95%.
- ALL LIFTING HOLES AND GAPS BETWEEN MANHOLE RINGS AND LID, ETC., SHOULD BE FILLED WITH NON-SHRINK GROUT.

**CONSTRUCTION STANDARDS**      **STANDARD MANHOLE**      **TOWN OF BAYFIELD, CO**  
STANDARD DETAIL NO. S-01

SHEET 1 OF 1

**"T" JUNCTION**      **"I" JUNCTION**

**CONTINUOUS**

**GENERAL NOTES:**

- CONCRETE SHALL BE PER SPECIFICATIONS.
- ALL CEMENT USED IN MORTAR, CONCRETE BASES, GRADE RINGS, RISER SECTIONS, CONES AND FLAT TOPS, FOR SANITARY SEWER MANHOLES, SHALL BE PER SPECIFICATIONS.
- MANHOLE RISER SECTION, CONES, FLAT TOPS AND GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE CONFORMING TO SPECIFICATIONS.
- DROP MANHOLE SHALL BE PROVIDED WHERE SEWER LINE ENTERS MH 24" OR MORE ABOVE LOWEST INVERT OF MH.
- TOP OF BENCH SHALL BE SLOPED 1/2" PER FOOT.
- PIPE SHALL BE JOINED TO MANHOLES WITH A-LOK Z-LOK, KOR-N-SEAL OR APPROVED EQUAL.

**CONSTRUCTION STANDARDS**      **MANHOLE BASES**      **TOWN OF BAYFIELD, CO**  
STANDARD DETAIL NO. S-04

SHEET 1 OF 1

**PLAN VIEW**

**SECTION A-A'**

**CONCRETE MANHOLE COLLAR DETAIL**  
NOT TO SCALE

**CONSTRUCTION STANDARDS**      **CONCRETE MANHOLE COLLAR DETAIL**      **TOWN OF BAYFIELD, CO**  
STANDARD DETAIL NO. S-05

SHEET 1 OF 1

**SECTION B-B**

**GENERAL NOTES:**

- ALL CEMENT USED IN MORTAR, CONCRETE BASES, GRADE RINGS, RISER SECTIONS, CONES AND FLAT TOPS, FOR SANITARY SEWER MANHOLES, SHALL BE PER SPECIFICATIONS.
- MANHOLE RISER SECTION, CONES, FLAT TOPS AND GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE PER SPECIFICATIONS.
- ALL LIFTING HOLES AND GAPS BETWEEN MANHOLE RINGS AND LID, ETC., SHOULD BE FILLED WITH NON-SHRINK GROUT.
- STANDARD M.H. RING AND COVER (NEENAH No. R-1772 OR APPROVED EQUAL).
- FRAME AND COVER SHALL HAVE MACHINED BEARING SURFACES.

**CONSTRUCTION STANDARDS**      **STANDARD CAST IRON MANHOLE RING & COVER**      **TOWN OF BAYFIELD, CO**  
STANDARD DETAIL NO. S-06

SHEET 1 OF 1

**SHEET 21 OF 24**

**PST ENGINEERING, LLC**  
2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492

**ENGINEERING**

**HAGA PROPERTY PHASE 1**  
**2107 BAYFIELD PARKWAY**  
**BAYFIELD, CO 81122**  
**DETAILS 2**

**REVISIONS:**

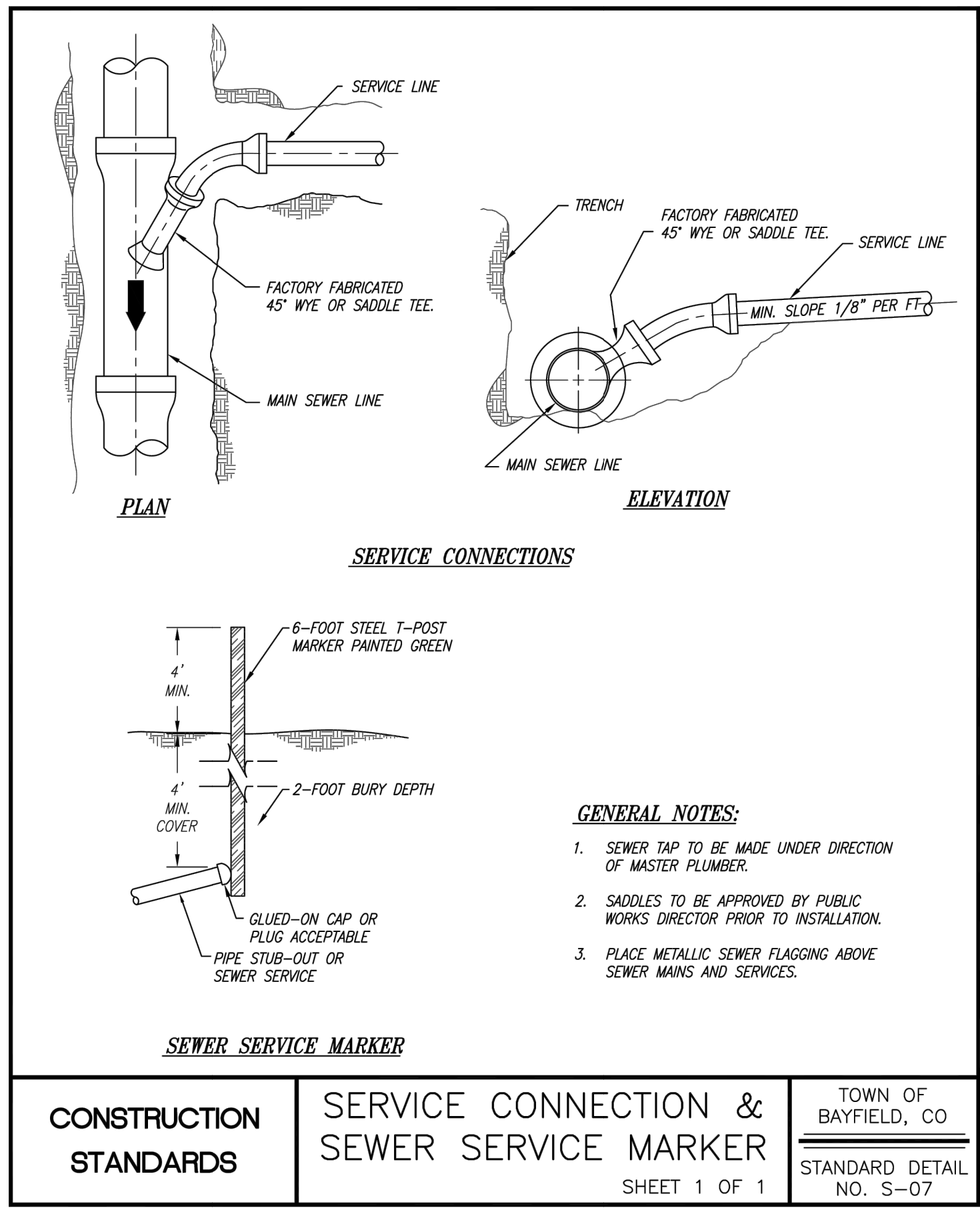
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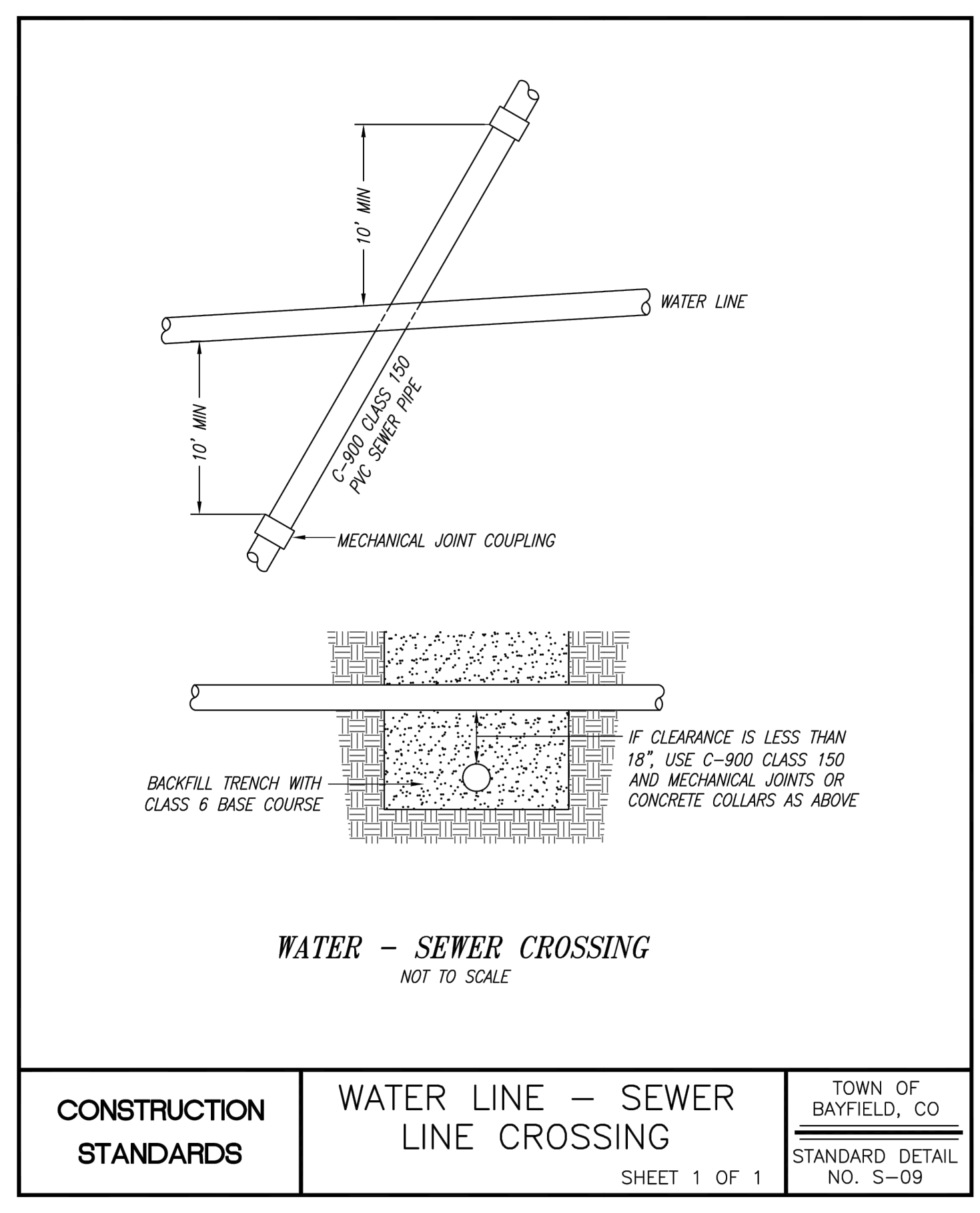
**COLORADO LICENSED PROFESSIONAL ENGINEER**  
55680  
9/14/2023

**COLORADO 811**  
KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.

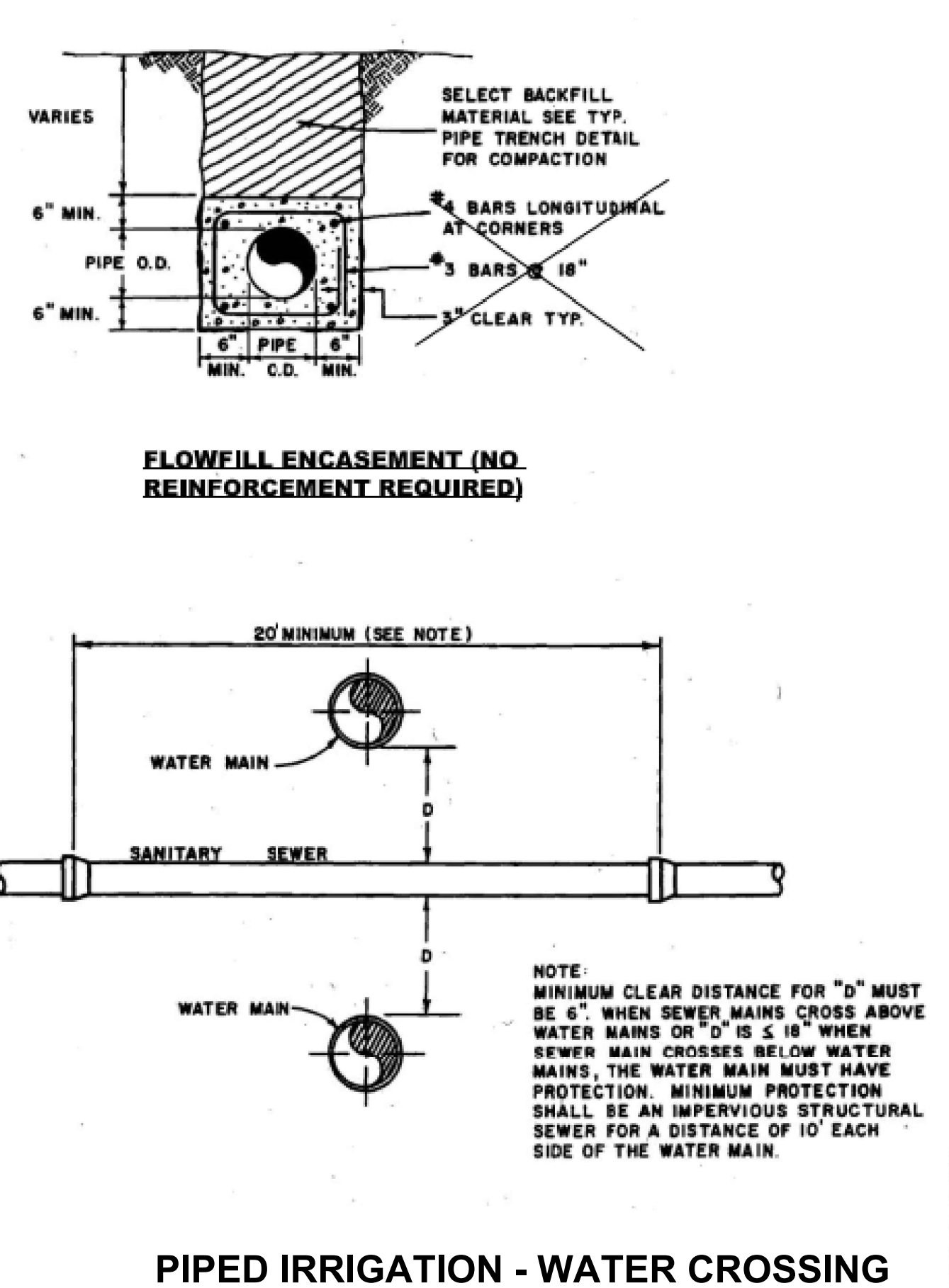
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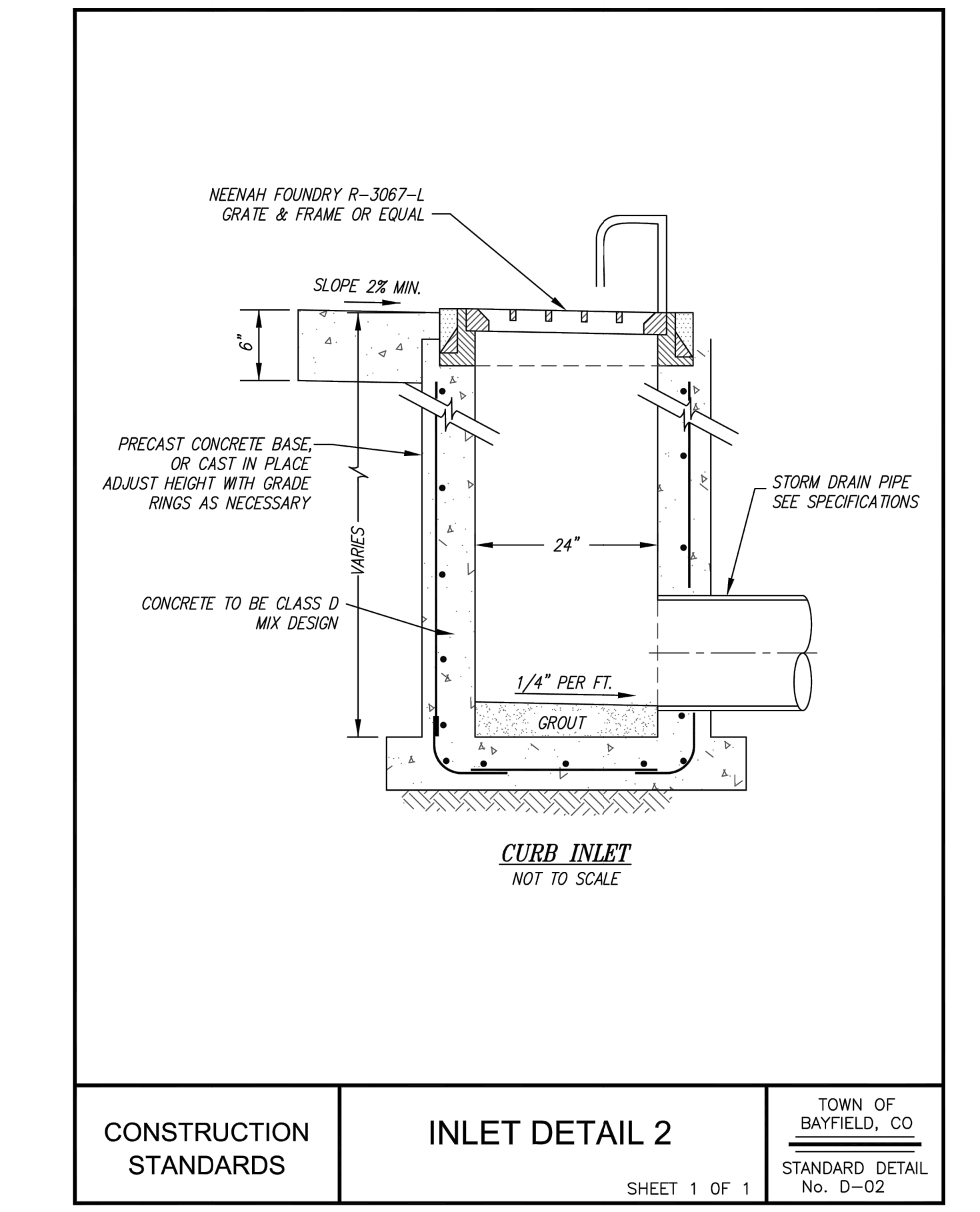
CONSTRUCTION STANDARDS	SERVICE CONNECTION & SEWER SERVICE MARKER	TOWN OF BAYFIELD, CO STANDARD DETAIL NO. S-07
SHEET 1 OF 1		



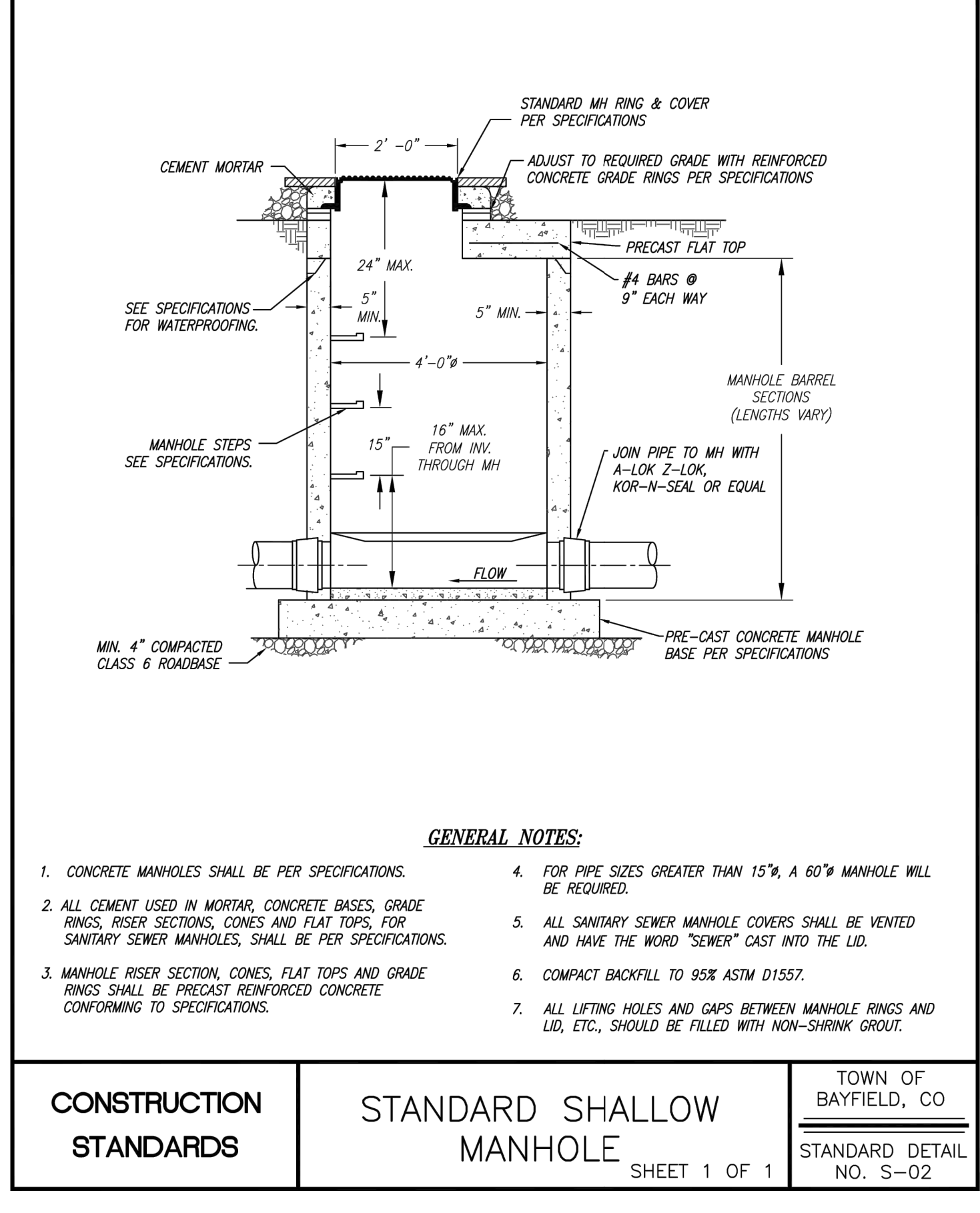
CONSTRUCTION STANDARDS	WATER LINE - SEWER LINE CROSSING	TOWN OF BAYFIELD, CO STANDARD DETAIL NO. S-09
SHEET 1 OF 1		



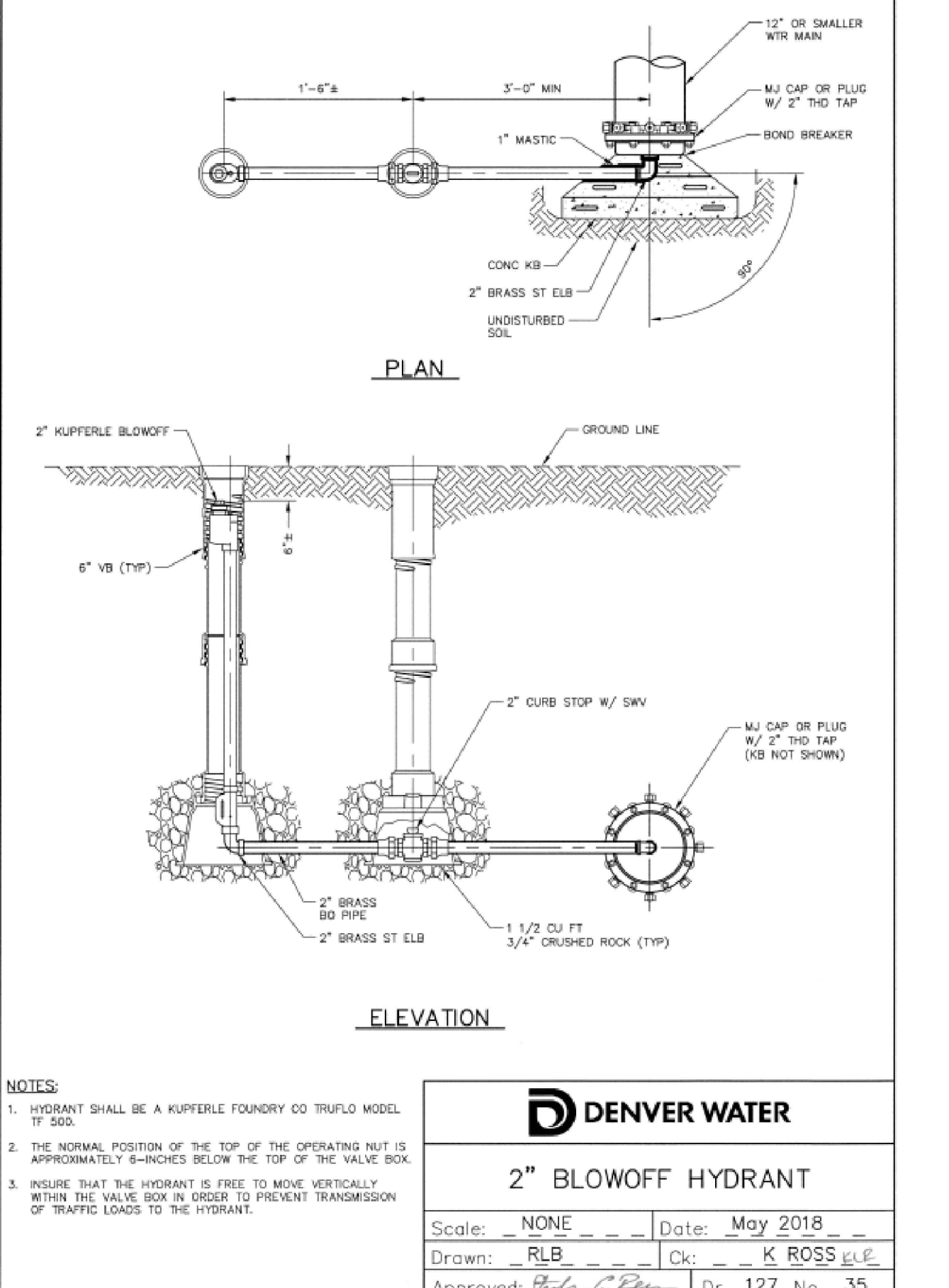
CONSTRUCTION STANDARDS	WATER MAIN - SEWER LINE CROSSING	TOWN OF BAYFIELD, CO STANDARD DETAIL NO. S-09
SHEET 1 OF 1		



CONSTRUCTION STANDARDS	INLET DETAIL 2	TOWN OF BAYFIELD, CO STANDARD DETAIL NO. D-02
SHEET 1 OF 1		

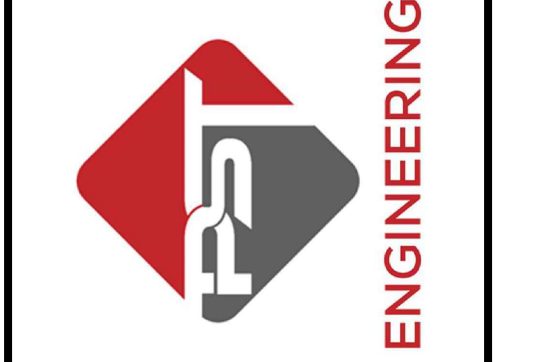


CONSTRUCTION STANDARDS	STANDARD SHALLOW MANHOLE	TOWN OF BAYFIELD, CO STANDARD DETAIL NO. S-02
SHEET 1 OF 1		



CONSTRUCTION STANDARDS	2" BLOWOFF HYDRANT	TOWN OF BAYFIELD, CO STANDARD DETAIL NO. S-02
SHEET 1 OF 1		

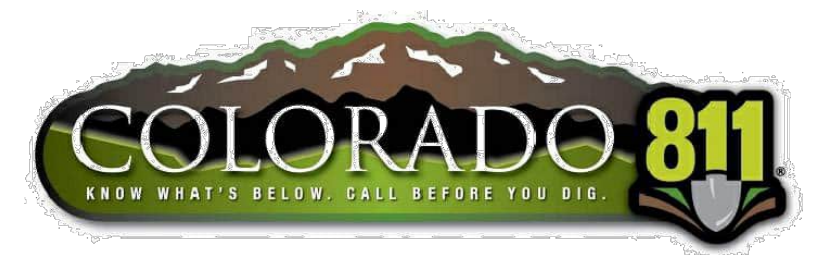
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2615 MAIN AVE. SUITE 209  
DURANGO, CO 81301  
970-403-5492



HAGA PROPERTY  
PHASE 1  
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BAYFIELD, CO 81122  
DETAILS 3

REVISIONS:	DATE	DESCRIPTION	SHEET
#			

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CHECKED BY: SP



### 16 FOOT GATE (SPECIAL) EMERGENCY ACCESS GATE

**GENERAL NOTES**

- ALL WORK TO INSTALL EACH EMERGENCY ACCESS GATE, TO INCLUDE EXCAVATION, GATE POSTS, GATE FRAME, CONCRETE FOOTINGS, REINFORCING, HINGES, PADLOCKS, SIGNS AND OTHER INCIDENTAL ITEMS SHALL BE PAID AS 16 FOOT GATE (SPECIAL).
- AT A MINIMUM, GATES SHALL BE LOCATED OUTSIDE THE CLEAR ZONE OF ADJACENT STATE HIGHWAY OR A DISTANCE OF 40 FEET FROM THE EDGE OF TRAVELED WAY, WHICHEVER IS GREATER.
- GATE SHALL REMAIN LOCKED AT ALL TIMES EXCEPT FOR EMERGENCY USE OR TO MAINTAIN THE EMERGENCY ACCESS.
- GATE FRAME AND POSTS SHALL BE CHROME YELLOW.
- SIGNS SHALL CONFORM TO CLASS I SIGN REQUIREMENTS.

**GATE AND POST DETAIL**

- GATE OPENING SHALL BE 16 FT.
- 6" MINIMUM POST (SQUARE OR ROUND) ROUND POST SCHEDULE 40, SQUARE POST 7/8" STOCK, POST 7 FT W/ CAP.
- 2" GATE FRAME (SQUARE OR ROUND) 13 GAUGE.
- SEALED 5" HEAVY DUTY BARREL HINGES (TYPICAL 2 PLACES).
- 2' X 3' CONCRETE POST FOOTINGS (TYPICAL 2 PLACES).
- 12" #5 REBAR IN 1" DIA HOLE THROUGH GATE POST AT EQUAL SPACING (TYPICAL 8 PLACES).

**SIGN DETAIL**

- LIKE SIGNS SHALL BE INSTALLED BACK TO BACK AND FASTENED TO EACH OTHER ON ALL 4 CORNERS. A MINIMUM OF THREE CORNERS SHALL BE FASTENED TO THE GATE.
- EACH NO PARKING SIGNS, RB-3a.
- EACH EMERGENCY VEHICLES ONLY SIGNS, R11-50.

**LOCKING MECHANISM DETAIL**

- PROPERTY/FACILITY OWNER PADLOCK. ONLY USED FOR MAINTAINING EMERGENCY ACCESS.
- FIRE DEPT. PADLOCK SHALL BE ACCESSIBLE FROM BOTH SIDES OF GATE. ORDER FORMS FOR KNOX PADLOCKS ARE AVAILABLE THROUGH DURANGO FIRE AND RESCUE AUTHORITY FIRE PREVENTION BUREAU. CALL 970-382-6023 FOR ORDER FORMS.
- WELD MODIFIED L-BRACKETS TO GATE FRAME AND GATE POST. ROUND ALL EDGES (TYPICAL 2 PLACES).
- LOCKING BAR LENGTH IS DETERMINED BY THE FRAME WIDTH AND THE GAP WIDTH BETWEEN THE 2 GATES. REMOVE ALL SHARP EDGES / ROUND ALL CORNERS.

**CONSTRUCTION STANDARDS**

Print Date: 11/16/2009	Sheet Revisions	Colorado Department of Transportation	As Constructed	EMERGENCY ACCESS GATE	Project No./Code
File Name: Emergency Access Gates.dgn	Date: Comments: Init.	Region 5	No Revisions:	Design: PPD	XX XXXX-XXXX
Horiz. Scale: 1:50		3803 N. Main Avenue, Suite 300 Durango, Co. 81301 Phone: 970-385-3024 FAX: 970-385-8361	Revised:	Detailer: TH	XXXXXX
Unit Information: Unit Leader: JBH		Region 5	Valid:	Sheet Subset: x of x	Sheet Number XX

### INLET Y3

**INSTALL SPACERS AS SHOWN**

**WALL MOUNT SHOULD BE INSTALLED 1.38" - 1.50" BELOW THE STRUCTURE TOP**

**CUTOUT DETAIL**

**INLET Y3**

STAINLESS STEEL ADJUSTABLE LOCKING MECHANISM AVAILABLE FOR 12" - 30" DOME GRATES (PART # 123DOMELOCK)

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DRAWN BY	DATE	BY	DATE	PROJECT NO.	TITLE
ECB	5-15-11	ECB	5-15-11		12 IN - 30 IN DOME LOCKING GRATE ASSEMBLY
APPD BY	DATE	BY	DATE		
CA	7-28-14	CA	7-28-14		
DWG SIZE	A	SCALE	1:16	SHEET	1 OF 1
DWG NO.	7001-110-421	REV	B		

3130 VERONA AVE  
BURLINGAME, CA 94010  
PHN (770) 932-2443  
FAX (770) 932-2460  
www.nyloplast-us.com

### NYLOPLAST 24" DRAIN BASIN: 2824AG \_\_ X

(1) 2 INTEGRATED DUCTILE IRON FRAME & GRATE TO MATCH BASIN O.D.

(2) 18" MIN WIDTH GUIDELINE

(3) VARIABLE INVERT HEIGHTS AVAILABLE (ACCORDING TO PLANS/TAKE OFF)

(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE:  
4" - 24" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADHANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC CR800/C905, CORRUGATED & RIBBED PVC

(5) ADAPTER ANGLES VARIABLE 0° - 360° ACCORDING TO PLANS

(6) MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURER RECOMMENDATION (MIN. MANUFACTURING REQ. SAME AS MIN. SUMP)

(7) VARIABLE SUMP DEPTH (6" MIN. BASED ON MANUFACTURING REQ.)

TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADINGS, & OTHER APPLICABLE DESIGN FACTORS. SEE DRAWING NO. 7001-110-111 FOR NON TRAFFIC INSTALLATION.

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2221. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

**INLET Y3**

GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
STANDARD	MEETS H-20	2489C05	7001-110-216
SOLID COVER	MEETS H-20	2489C08	7001-110-217
COVER	N/A	2489C09	7001-110-218
DROP IN GRATE	LIGHT DUTY	2421D	7001-110-075

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DRAWN BY	DATE	BY	DATE	PROJECT NO.	TITLE
ECB	04-23-06	ECB	03-14-16		24 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
APPD BY	DATE	BY	DATE		
CA	03-14-16	CA			
DWG SIZE	A	SCALE	1:40	SHEET	1 OF 1
DWG NO.	7001-110-192	REV	E		

3130 VERONA AVE  
BURLINGAME, CA 94010  
PHN (770) 932-2443  
FAX (770) 932-2460  
www.nyloplast-us.com

### VALLEY GUTTER SECTION

**STANDARD CURB AND GUTTER**

**MOUNTABLE CURB**

**NOTES:**

- FOR ALL CURBING AND/OR GUTTERS, PROVIDE CONTRACTION JOINTS AT 10' O.C. ALSO PROVIDE 1/2" PREFORMED EXPANSION JOINTS AT 50' O.C. ADJACENT TO BUILDING AND WALLS, AT CURB RETURNS AND AT EACH SIDE OF DRIVEWAYS.
- BASE UNDER CURB AND GUTTER WILL BE 4" CLASS 6 AND 8" CLASS 2.
- CONCRETE SHALL BE A CLASS B MIX DESIGN.
- GUTTER CROSS SLOPES SHALL BE 1/2 IN./FT. WHEN DRAINING AWAY FROM THE CURB, AND 1 IN./FT. WHEN DRAINING TOWARD THE CURB.

**CONSTRUCTION STANDARDS**

CONSTRUCTION STANDARDS	CURB & GUTTER DETAILS	TOWN OF BAYFIELD, CO
	SHEET 1 OF 1	STANDARD DETAIL No. C-01

### SIDEWALK DETAILS

**SIDEWALK DETAIL 1**

**SIDEWALK DETAIL 2**

**NOTE:**

SIDEWALK EXPANSION JOINTS TO BE PLACED AT 50' INTERVALS.

SIDEWALK CONTRACTION JOINTS NOT TO EXCEED 5' INTERVALS, AND TO ALIGN WITH CURB & GUTTER CONTRACTION JOINTS.

**CONSTRUCTION STANDARDS**

CONSTRUCTION STANDARDS	SIDEWALK DETAILS	TOWN OF BAYFIELD, CO
	SHEET 1 OF 1	STANDARD DETAIL No. C-02

SHEET **23** OF **24**

**PST ENGINEERING, LLC**  
2615 MAIN AVE., SUITE 209  
DURANGO, CO 81301  
970-403-5492

**ENGINEERING**

**HAGA PROPERTY PHASE 1**  
**2107 BAYFIELD PARKWAY**  
**BAYFIELD, CO 81122**  
**DETAILS 4**

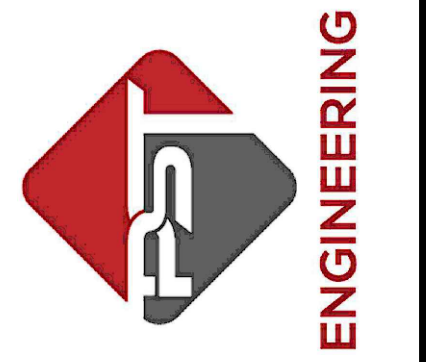
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#			

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TOWN OF BAYFIELD, CO  
STANDARD DETAIL No. C-02

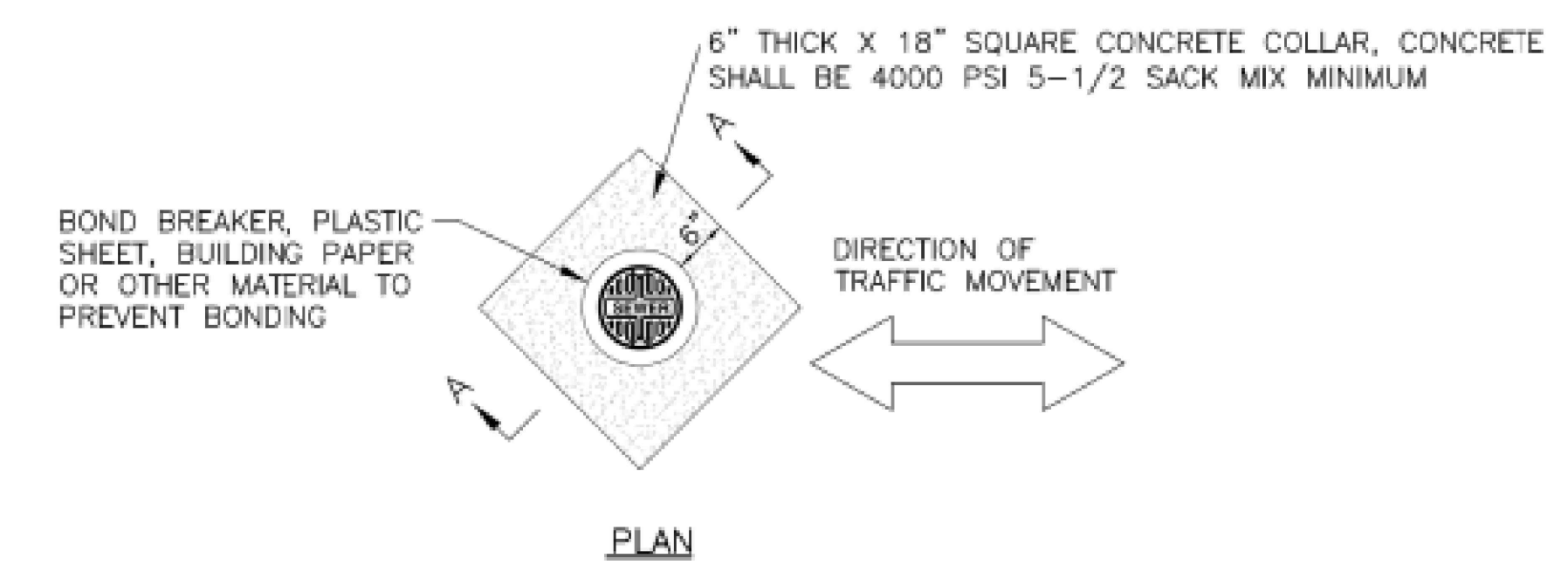
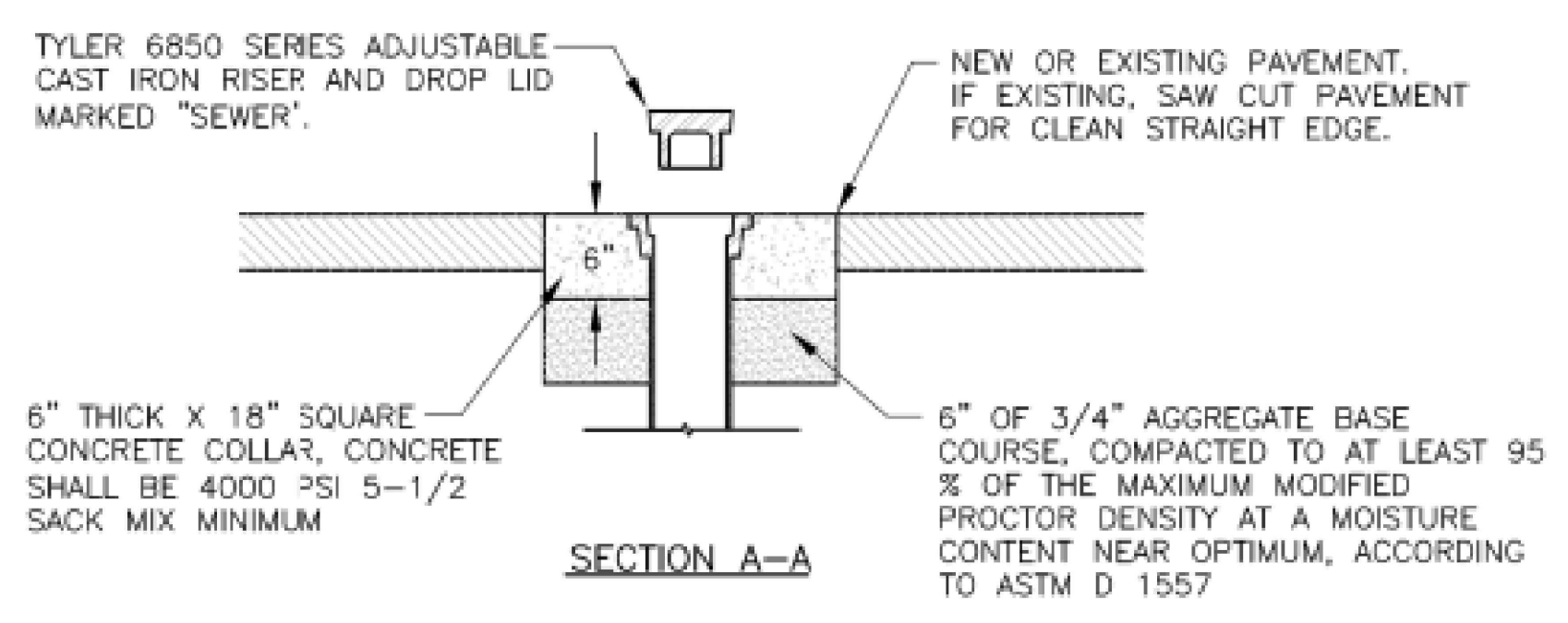
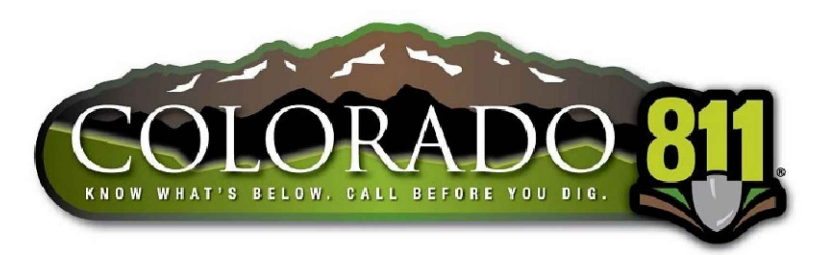
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#	DESCRIPTION	

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**SANITARY CLEANOUT COLLAR IN PAVEMENT**

ROCK SIZE SCHEDULE				
ROCK SIZE	APPROX. WGT. (LBS)	APPROX. HGT. (INCHES)	APPROX. WIDTH (INCHES)	APPROX. LENGTH (INCHES)
1 MAN	50 TO 200	6 TO 10	10 TO 16	10 TO 16
2 MAN	200 TO 700	10 TO 18	16 TO 22	16 TO 22
3 MAN	700 TO 2,000	18 TO 24	22 TO 32	22 TO 32
4 MAN	2,000 TO 4,000	24 TO 28	32 TO 42	32 TO 42

ROCKERY WALL SCHEDULE		
ROCKERY HGT. (FEET)	MINIMUM ROCK SIZE (BASE)	MINIMUM ROCK SIZE (TOP)
2	2 MAN (2 COURSES)	1 MAN
4	4 MAN (2 COURSES)	2 MAN

**NOTES:**  
 1. SCARIFY BOULDER WALL SUBGRADE (PLUS 6" ON EACH SIDE) TO A DEPTH OF 8" AND COMPACT TO A DENSITY OF NOT LESS THAN 93% OF MAXIMUM DRY DENSITY AS MEASURED BY AASHTO T-180.  
 2. ALL ROCK MATERIAL SHALL BE AS NEARLY RECTANGULAR AS POSSIBLE. NO STONE SHALL BE USED THAT DOES NOT EXTEND THROUGH THE WALL. ALL ROCK MATERIAL SHALL BE HARD, SOUND, DURABLE AND FREE FROM WEATHERED PORTIONS, SEAMS, CRACKS AND OTHER DEFECTS.  
 3. ROCK SELECTION AND PLACEMENT SHALL MINIMIZE VOID SPACES. IN THE EXPOSED FACE OF WALL, THERE SHALL BE NO OPEN VOIDS OVER SIX (6) INCHES ACROSS IN ANY DIRECTION. THE FINAL COURSE SHALL HAVE A CONTINUOUS APPEARANCE AND BE PLACED TO MINIMIZE EROSION OF THE BACKFILL MATERIAL. THE LARGER ROCKS SHALL BE PLACED AT THE BASE OF THE ROCK WALL SO THAT THE WALL WILL BE STABLE AND HAVE A STABLE APPEARANCE. THE ROCKS SHALL BE PLACED IN A MANNER SUCH THAT THE WIDTH OF THE ROCK SHALL BE AT RIGHT ANGLES OR PERPENDICULAR TO THE ROCKERY FACE. THE ROCKS SHALL HAVE ALL INCLINING FACES SLOPING TO THE BACK OF THE ROCKERY. EACH COURSE OF ROCKS SHALL BE SEATED AS TIGHTLY AND EVENLY AS POSSIBLE ON THE COURSE BENEATH. AFTER SETTING EACH COURSE OF ROCK, ALL VOIDS BETWEEN THE ROCKS SHALL BE CHINKED ON THE BACK WITH QUARRY ROCK TO ELIMINATE ANY VOID SUFFICIENT TO PASS A TWO (2) INCH SQUARE PROBE.  
 4. ALL BACKFILL MATERIAL SHALL BE PLACED IN LIFTS APPROXIMATELY SIX (6) INCHES BELOW THE TOP OF EACH COURSE OF ROCKS AS THEY ARE PLACED. ANY BACKFILL MATERIAL ON THE BEARING SURFACE OF ONE ROCK COURSE SHALL BE REMOVED BEFORE SETTING THE NEXT COURSE.

